
CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org



STAFF REPORT

SHORELINE SUBSTANTIAL DEVELOPMENT PERMIT

Project No.:	SHL21-041
Description:	Shoreline Substantial Development Permit for pier repairs and to install a boat lift and a dual personal watercraft lift.
Applicant / Owner:	Zoe Rohaly (Seaborn Pile Driving) / Saltwater LLC
Site Address:	4421 Forest Ave SE, Mercer Island, WA 98040; Identified by King County Assessor tax parcel number 548270-0185.
Zoning District:	Single Family Residential (R-15)
Staff Contact:	Andrew Leon, Planner
Exhibits:	<ol style="list-style-type: none">1. Development Application, dated September 15, 20212. Development Plan Set, dated May 31, 20223. Applicant Narrative and Project Narrative, received by the City of Mercer Island on April 5, 20224. Review Response Letter, dated May 31, 20225. Ecological No Net Loss Assessment Report prepared by Northwest Environmental Consulting, LLC, dated October 20216. SEPA Checklist, dated September 15, 20217. SEPA Determination of Nonsignificance Issued by the City of Mercer Island on September 6, 20228. SHL06-029 Notice of Decision, Dated February 20, 20079. Letter of Permission prepared by the United States Army Corps of Engineers, dated April 29, 2022

INTRODUCTION

I. Project Description

The applicant has requested approval of a Shoreline Substantial Development Permit to repair six piles of an existing pier, remove an existing mooring pile, remove an existing personal watercraft lift, install a new boatlift, and install a dual personal watercraft lift. The existing pier extends 59 feet, 10 inches waterward from the ordinary high water mark (OHWM) and ends at a T that with dimensions of 12

feet, 10 inches by 29 feet 10 inches. The pier up to the T is 5 feet, 10 inches in width. The pier also has an existing covered boat lift that is not proposed to be removed.

This application consists of two components:

1. A request to permit one new boat lift and two new personal watercraft lifts. Applications for development involving additions to moorage facilities, including the installation of boatlifts, are subject to the development standards of Mercer Island City Code (MICC) 19.13.050(F)(1) or the alternative development standards for moorage facilities of MICC 19.13.050(F)(3). The applicant has requested that the installation of the boatlift and personal watercraft lifts be reviewed under the alternative development standards of MICC 9.13.050(F)(3).
2. A request to repair the existing pier. Applications for repairs to existing moorage facilities are subject to the development standards of MICC 19.13.050(F)(2).

II. Site Description and Context

1. The proposed activity is to occur at 4421 Forest Ave SE, Mercer Island, WA 98040. This site is designated Single Family Residential (zoned R-15) in the Urban Residential Environment on Mercer Island in Lake Washington pursuant to Appendix F of Title 19 of the Mercer Island City Code and described in MICC 19.13.030(B). Adjacent properties are within the R-15 zones and contain residential uses.

Findings of Fact & Conclusions of Law

III. Application Procedure

1. The application for a Shoreline Substantial Development Permit was received by the City of Mercer Island on November 24, 2021. The application was determined to be complete on December 8, 2021.
2. Under MICC 19.15.030, Table A, applications for Shoreline Substantial Development Permits must undergo Type III review. Type III reviews require notice of application (discussed below). A notice of decision is issued once the project review is complete.
3. The City of Mercer Island provided public notice of application for this Shoreline Substantial Development Permit, as set forth in MICC 19.15.090. The comment period for the public notice period lasted for 30 days, from December 13, 2021 to January 12, 2022. The following methods were used for the public notice of application:
 - 1) A mailing sent to neighboring property owners within 300 feet of the subject parcel.
 - 2) A sign posted on the subject parcel.
 - 3) A posting in the City of Mercer Island's weekly permit bulletin.

IV. State Environmental Policy Act (SEPA)

A Determination of Nonsignificance (DNS) is being issued concurrently with the approval of this shoreline substantial development permit following the optional DNS process per Washington

Administrative Code (WAC) 197-11-355 (Exhibit 7). The SEPA application is identified by City of Mercer Island project number SEP21-026.

V. Consistency with the Shoreline Master Program and Land Development Code

1. MICC 19.13.050(D), Table D lists requirements for moorage facilities and development located waterward from the OHWM:

- a. Setbacks for all moorage facilities, covered moorage, and floating platforms shall be 10 feet from the lateral line, except where the moorage facility is built pursuant to the agreement between adjoining property owners.

Staff Analysis: As shown in Exhibit 2, the existing pier is located more than 10 feet from the lateral lines. This standard is met.

- b. Setbacks for boat ramps and other facilities for launching boats by auto or hand, including parking and maneuvering space, shall be 25 feet from any adjacent private property line.

Staff Analysis: This site does not contain a boat ramp or other facility for launching boats. This standard does not apply.

- c. The length or maximum distance from the OHWM for moorage facilities, covered moorage, boatlifts and floating platforms shall be a maximum of 100 feet. In cases where water depth is less than 11.85 feet below the OHWM, length may extend up to 150 feet or to the point where water depth is 11.85 feet at OHWM, whichever is less.

Staff Analysis: Exhibit 2 shows that the existing pier extends 59 feet, 10 inches from the OHWM. This standard is met.

- d. The width of moorage facilities within 30 feet waterward from the OHWM shall be a maximum of 4 feet. This maximum width may increase to 5 feet if one of the following is met:

- Water depth is 4.85 feet or more, as measured from the OHWM.
- A moorage facility is required to comply with Americans with Disabilities Act (ADA) requirements.
- A resident of the property has a documented permanent state disability as defined in WAC 308-96B-010(5).
- The proposed project includes mitigation option A, B or C listed in Table E; and for replacement actions, there is either a net reduction in overwater coverage within 30 feet waterward from the OHWM, or a site-specific report is prepared by a qualified professional demonstrating no net loss of ecological function of the shorelands. Moorage facility width shall not include pilings, boat ramps and lift stations.

Staff Analysis: Exhibit 2 shows that the existing pier is 5 feet, 10 inches in width within the first 30 feet waterward from the OHWM. The current configuration of the pier was approved by the City of Mercer Island in 2007 under file number SHL06-029 (Exhibit 8) and is therefore legally nonconforming. MICC 19.13.020(A) states that overwater uses and structures, and uses and structures 25 feet landward from the OHWM, which were legally created may be

maintained, repaired, renovated, remodeled and completely replaced to the extent that nonconformance with standards and regulations of Chapter 19.13 MICC is not increased. The pier's existing nonconformity is not proposed to be increased as a part of this project, so this standard does not apply.

- e. The width of moorage facilities more than 30 feet waterward from the OHWM shall be a maximum of 6 feet. Moorage facility width shall not include pilings, boat ramps and boatlifts.

Staff Analysis: Exhibit 2 shows that the main portion of the existing pier is to be 5 feet, 10 inches in width. The finger piers at the end of the existing pier are 12 feet, 10 inches in width. The current configuration of the pier was approved by the City of Mercer Island in 2007 under file number SHL06-029 (Exhibit 8) and is therefore legally nonconforming. MICC 19.13.020(A) states that overwater uses and structures, and uses and structures 25 feet landward from the OHWM, which were legally created may be maintained, repaired, renovated, remodeled and completely replaced to the extent that nonconformance with standards and regulations of Chapter 19.13 MICC is not increased. The pier's existing nonconformity is not proposed to be increased as a part of this project, so this standard does not apply.

- f. The maximum height limits for walls, handrails and storage containers located on piers shall be 3.5 feet above the surface of a dock or pier. Ramps and gangways designed to span the area between 0 and 30 feet from the OHWM may be 4 feet above the surface of the dock or pier.

Staff Analysis: The elevation view on Sheet A5.0 of Exhibit 2 shows that the pier does not include walls, rails, or storage containers. This standard is met.

- g. The height limit for mooring piles, diving boards and diving platforms shall be 10 feet above the elevation of the OHWM.

Staff Analysis: The moorage facility at this site currently has three moorage piles. One of the piles is proposed to be removed. Exhibit 2 shows that the existing moorage piles extend approximately 8 feet above the OHWM. No alterations to the other two mooring piles are proposed, so this standard is met.

- h. The minimum water frontage for a dock used by a single-family lot on the shoreline is 40 feet combined for both lots.

Staff Analysis: The existing pier is located on a lot with a shoreline frontage of approximately 100 feet. This standard is met.

- i. Covered moorage is permitted on single-family residential lots subject to the following:
 - i. Maximum height above the OHWM: 16 feet; 16 to 21 feet subject to criteria of MICC 19.13.050(E)(1).

Staff Analysis: The existing moorage cover extends approximately 10 feet in height above the OHWM. This standard is met.

- ii. Location/area requirements: See MICC 19.13.050(E), Figure A for single-family lots and Figure B for shared moorage.

Staff Analysis: The existing covered moorage is located within the covered moorage triangle described in MICC 19.13.050(E), Figure A. This standard is met.

- iii. Building area: 600 square feet; however, a covered moorage may be built larger than 600 square feet within the triangle subject to a shoreline conditional use permit.

Staff Analysis: The existing covered moorage has an area of approximately 200 square feet. This area is less than the maximum allowed area, so this standard is met.

- iv. Covered moorage shall have open sides.

Staff Analysis: The applicant has indicated in Exhibits 4 and 5 that the existing moorage cover has open sides. This standard is met.

- v. Prohibited in semi-private recreational tracts and noncommercial recreational areas.

Staff Analysis: The proposed covered moorage is not located on a semi-private recreational tract or a noncommercial recreational area. This standard does not apply.

- vi. Translucent coverings are required.

Staff Analysis: Aerial imagery shows that the existing covered moorage is not transparent. The moorage cover was previously approved under SHL06-029 (Exhibit 8). MICC 19.13.020(A) states that overwater structures and uses which were legally created may be maintained to the extent that nonconformance with the standards of Chapter 19.13 MICC is not increased. No changes are proposed to the moorage cover, so this standard does not apply.

- 3. MICC 19.13.050(F)(2) lists the development standards for replacement, repair and maintenance of overwater structures, including moorage facilities. The maintenance, repair and complete replacement of legally existing overwater structures is permitted; provided that:

- a. All permit requirements of federal and state agencies are met.

Staff Analysis: This decision conditions that the applicant obtain any applicable permits for this project from federal and state agencies. As conditioned, this standard is met.

- b. The area, width, or length of the structure is not increased, but may be decreased.

Staff Analysis: Exhibit 2 shows that the proposed repairs to the pier will not result in an increase in the area, width, or length of the pier. This standard is met.

- c. The height of any structure is not increased, but may be decreased; provided, that the height above the OHWM may be increased as provided in MICC 19.13.050(F)(2)(ix)(b).

Staff Analysis: The applicant has indicated in Exhibits 2 and 4 that the height of the existing moorage facility above the OHWM will not be changed as a part of this proposal. This standard does not apply.

- d. The location of any structure is not changed unless the applicant demonstrates to the director's satisfaction that the proposed change in location results in: (A) a net gain in ecological function, and (B) a higher degree of conformity with the location standards for a new overwater structure.

Staff Analysis: The location of the pier is not proposed to change as a part of this project. This standard does not apply.

- e. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended best management practices of the Western Wood Preservers. All piling sizes are in nominal diameter.

Staff Analysis: Exhibit 3 indicates that the applicant is proposing to use only state approved preservatives for wood elements that will be applied and fully cured prior to installation over the water. This standard is met.

- f. Any paint, stain or preservative applied to components of the overwater structure must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds.

Staff Analysis: Exhibit 3 states that all wood preservatives will be applied and fully cured prior to installation over the water. This standard is met.

- g. The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife.

Staff Analysis: This decision conditions that the applicant abide by the work windows established by the U.S. Army Corps of Engineers and the Washington Department of Fish and Wildlife. As conditioned, this standard is met.

- h. Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success.

Staff Analysis: The applicant is proposing to replace the existing vegetation along the shoreline with new, native vegetation, as seen on Sheet A7.0 of Exhibit 2. The applicant has also indicated that annual monitoring reports will be provided for five years after installation of the vegetation is complete to ensure that the installed plants achieve at least 80% survival during monitoring years 3, 4, and 5. This standard is met.

- i. The structural repair, which may include replacement of framing elements, of moorage facilities that results in the repair of more than 50% of the structure's framing elements within a 5-year period shall comply with MICC 19.13.050(F)(2)(ix)(a) through (c). For this section, framing elements include, but are not limited to, stringers, piles, pile caps, and attachment brackets:
 - A. 100% of the decking area of the pier, dock, and any platform lifts must be fully grated with materials that allow a minimum of 40% light transmittance.
 - B. The height above the OHWM for moorage facilities, except floats, shall be a minimum of 1.5 feet and a maximum of 5 feet.
 - C. An existing moorage facility that is 5 feet wide or more within 30 feet waterward from the OHWM shall be replaced or repaired with a moorage facility that complies with the moorage facilities standards specified in MICC 19.13.050(D), Table D.

Staff Analysis: The applicant has listed the structural elements that are proposed to be repaired or replaced on Sheet A4.0 of Exhibit 2. The applicant has indicated that 6 of the pier's 68 structural elements (9%) are proposed to be repaired or replaced as a part of this project. Since no more than 50% of the pier's structural elements are proposed to be repaired or replaced, the standards of MICC 19.13.050(F)(2)(ix)(A) through (C) do not apply.

- j. The exterior surface repair, which may include the replacement of exterior surface materials of moorage facilities that results in the repair of more than 50% of the surface area of the moorage facility's decking, fascia, and platform lifts within a 5-year period, shall be required to utilize materials that allow a minimum of 40% light transmittance over 100% of the dock.

Staff Analysis: This project does not include replacement of the pier's decking. This standard does not apply.

- k. Any decking that is removed in the course of repair shall be replaced with decking materials that allow a minimum of 40% light transmittance.

Staff Analysis: This project does not include replacement of the pier's decking. This standard does not apply.

- 4. MICC 19.13.050(F)(3) lists the alternative development standards for moorage facilities. The code official shall approve moorage facilities not in compliance with the development standards in MICC 19.13.050(F)(1) or (F)(2) subject to both U.S. Army Corps of Engineers and Washington Department of Fish and Wildlife approval to an alternate project design. The following requirements and all other applicable provisions of this chapter shall be met:

- a. The dock must be no larger than authorized through state and federal approval.

Staff Analysis: The applicant has provided a Letter of Permission from the U.S. Army Corps of Engineers (Exhibit 9) showing that the project has received their approval. However, the applicant has not yet provided documentation that the project has been approved by the Washington Department of Fish and Wildlife. This decision conditions that the applicant provide documentation that state and federal agencies approve of the proposal prior to issuance of building permits. As conditioned, this standard is met.

- b. The maximum width must comply with the width of moorage facilities standards specified in MICC 19.13.050(D), Table D.

Staff Analysis: The current configuration of the existing pier was approved in 2007 under permit number SHL06-029 (Exhibit 8). MICC 19.13.020(A) states that overwater structures and uses which were legally created may be maintained to the extent that nonconformance with the standards of Chapter 19.13 MICC is not increased. The alterations to the pier are being reviewed under MICC 19.13.050(F)(2), as discussed in Section V.3 of this staff report above.

- c. The minimum water depth must be no shallower than authorized through state and federal approval.

Staff Analysis: The applicant has provided a Letter of Permission from the U.S. Army Corps of Engineers (Exhibit 9) showing that the project has received their approval. However, the applicant has not yet provided documentation that the project has been approved by the Washington Department of Fish and Wildlife. This decision conditions that the applicant provide documentation that state and federal agencies approve of the proposal prior to issuance of building permits. As conditioned, this standard is met.

- d. The applicant must demonstrate to the code official's satisfaction that the proposed project will not create a net loss in ecological function of the shorelands.

Staff Analysis: The applicant provided an Ecological No Net Loss Assessment Report (Exhibit 5) that indicates that the project will not have a negative impact on the ecological function of the shorelands. This standard is met.

- e. The applicant must provide the city with documentation of approval of the moorage facilities by both the U.S. Army Corps of Engineers and the Washington Department of Fish and Wildlife.

Staff Analysis: The applicant has provided a Letter of Permission from the U.S. Army Corps of Engineers (Exhibit 9) showing that the project has received their approval. However, the applicant has not yet provided documentation that the project has been approved by the Washington Department of Fish and Wildlife. This decision conditions that the applicant provide documentation that state and federal agencies approve of the proposal prior to issuance of building permits. As conditioned, this standard is met.

CONDITIONS OF APPROVAL

1. The project proposal shall be in substantial conformance with Exhibit 2 and all applicable development standards contained within Mercer Island City Code (MICC) Chapter 19.13.
2. The applicant shall obtain any permits from state and federal agencies that are applicable to this project. The applicant is also responsible for documenting any required changes in the project proposal due to conditions imposed by any applicable local, state and federal government agencies.
3. Construction shall not be authorized, nor may begin within twenty-one days of the date of filing of the decision as defined in RCW 90.58.140(6).

4. A City of Mercer Island Building Permit may be required for construction of this project proposal. The Building Official may require an appropriate performance bond in an amount to be determined prior to Building Permit issuance to ensure all required vegetation installation is completed in compliance with applicable code requirements.
5. Construction of this project proposal shall only occur during approved fish windows by local, state, and/or federal government agencies. The applicant is responsible for obtaining permit approvals from all state and federal agencies.
6. Construction of this project proposal shall only occur during approved construction hours by the City of Mercer Island and/or as otherwise restricted by the Building Official.
7. The applicant shall provide the City with documentation of approval of the project from the U.S. Army Corps of Engineers and the Washington Department of Fish and Wildlife. This documentation shall be received by the City prior to issuance of building permits for this project.
8. The applicant shall provide the City with an affidavit prior to **permit issuance**. The affidavit shall state that the applicant has field located the sewer lake line and the location on the site plan (as revised) is the actual location within Lake Washington. The affidavit shall acknowledge that the applicant is responsible for any damages to the sewer lake line caused by the construction. **Please note:** Damage can occur from pile driving, grounding the barge or securing it with vertical steel shafts (spuds), and other possible impacts from the project.
9. The applicant shall provide the City with development plans that reflect the field verified location of the sewer lake line pre-construction prior to **permit issuance**. If the lakebed is being disturbed, please contact Fish and Wildlife and the U.S. Army Corps of Engineers, as a permit may be required. **Please note:** Field verification should be performed with due care as the sewer lake line is pressurized in some locations and the pipe material could be prone to damage.

The applicant shall provide development plans based upon a pre-construction field survey locating the sewer lake line, and shall deliver the results to the City in one of the formats listed below, ranked from top to bottom, (a) being the top preferred method:

- a. A hand-drawn or plotted as-built of the lake line location with accurate distance measurements to multiple visible and permanent reference points. Reference points can include dock corners, utilities, structures, stairs, etc.
- b. A CAD file including the lake line and surveyed area in WGS-1984 or Washington State Plane North coordinate systems.
- c. A CAD file including the lake line and surveyed area in an assumed coordinate system, including multiple visible and permanent reference points.
- d. A list of coordinates denoting the lake line location, in WGS-1984 or Washington State Plane North coordinate systems.
- e. If none of the above options are viable, the City will consider reasonable efforts to provide field verification of the sewer lake line. Possible constraints that may make field verification nonviable includes, but is not limited to, the following: if the sewer pipe is too deep to locate or if there are fish window constraints.

If a coordinate system is used, the survey must be performed using high accuracy GPS or total station (half-foot accuracy). This **excludes** cellphone or handheld GPS surveys.

10. The applicant shall inform the Mercer Island Maintenance Department at (206) 275-7608 of the anticipated start date of in-water work prior to commencement of construction.
11. Piles, floats or other structures in direct contact with water shall not be treated or coated with toxic substances harmful to the aquatic environment. Chemical treatment of structures shall comply with all applicable state and federal regulations. Any pollutants entering Lake Washington shall be reported immediately to the Department of Ecology. N.W. Regional Office: (425) 649-7000 and the City of Mercer Island (206) 275-7605.
12. Construction or substantial progress toward construction of a development for which a permit has been granted must be undertaken within two years after the approval of the permit or the permit shall terminate. The code official shall determine if substantial progress has been made. A single extension before the end of the time limit, with prior notice to parties of record, for up to one year, based on reasonable factors may be granted.

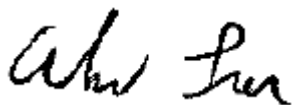
DEVELOPMENT REGULATION COMPLIANCE – DISCLOSURE

1. The applicant is responsible for obtaining any required permits or approvals from the appropriate Local, State, and Federal Agencies. The applicant is responsible for meeting the conditions are required by the agencies pursuant to MICC 19.13.010(E) and 19.13.040.
2. All required permits must be obtained prior to the commencement of construction.

DECISION

Based upon the above noted Findings of Fact and Conclusions of Law, Shoreline Substantial Development Permit application SHL21-041, as depicted in Exhibit 2, is hereby **APPROVED**. This decision is final, unless appealed in writing consistent with adopted appeal procedures, MICC 19.15.130(A), and all other applicable appeal regulations.

Approved this 6th day of September, 2022



Andrew Leon
Planner
Community Planning & Development
City of Mercer Island

CITY OF MERCER ISLAND

COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040

PHONE: 206.275.7605 | www.mercergov.org



CITY USE ONLY

PROJECT#	RECEIPT #	FEE


Date Received:

Received By:

DEVELOPMENT APPLICATION

STREET ADDRESS/LOCATION 4421 Forest Ave SE		ZONE R-15
COUNTY ASSESSOR PARCEL #'S 548270-0185		PARCEL SIZE (SQ. FT.) 16,350
PROPERTY OWNER (required) Saltwater LLC	ADDRESS (required) 4421 Forest Ave SE Mercer Island, WA 98040	CELL/OFFICE (required) 206-227-2523 E-MAIL (required) oriamiga@gmail.com
PROJECT CONTACT NAME Zoe Rohaly - Seaborn Pile Driving	ADDRESS 1080 W Ewing St. Bldg B. Seattle, WA 98119	CELL/OFFICE 206.263.1700 E-MAIL permits@seabornpiledriving.com
TENANT NAME	ADDRESS	CELL PHONE E-MAIL

DECLARATION: I HEREBY STATE THAT I AM THE OWNER OF THE SUBJECT PROPERTY OR I HAVE BEEN AUTHORIZED BY THE OWNER(S) OF THE SUBJECT PROPERTY TO REPRESENT THIS APPLICATION, AND THAT THE INFORMATION FURNISHED BY ME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.


SIGNATURE

09-15-2021
DATE

PROPOSED APPLICATION(S) AND CLEAR DESCRIPTION OF PROPOSAL (PLEASE USE ADDITIONAL PAPER IF NEEDED):

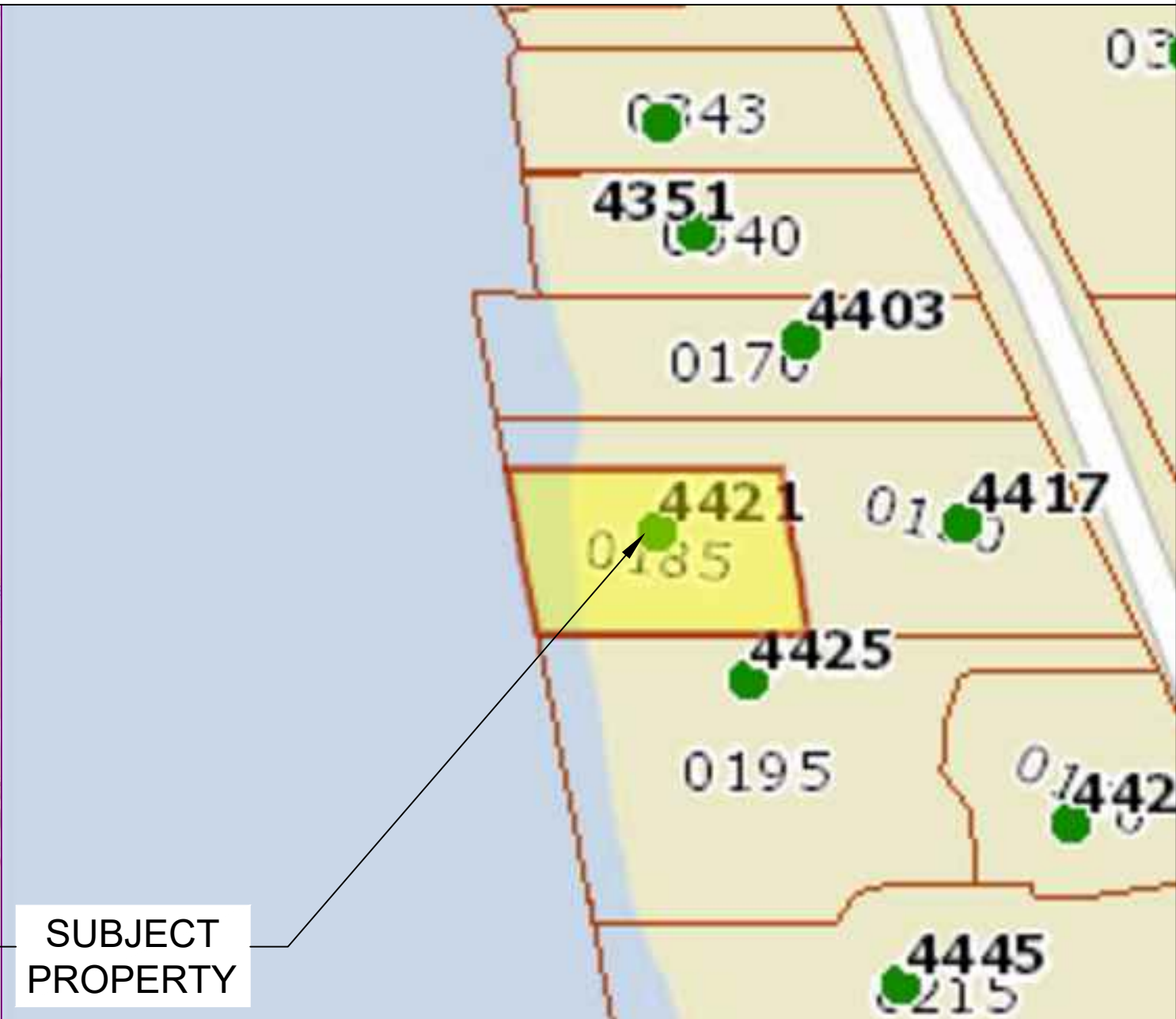
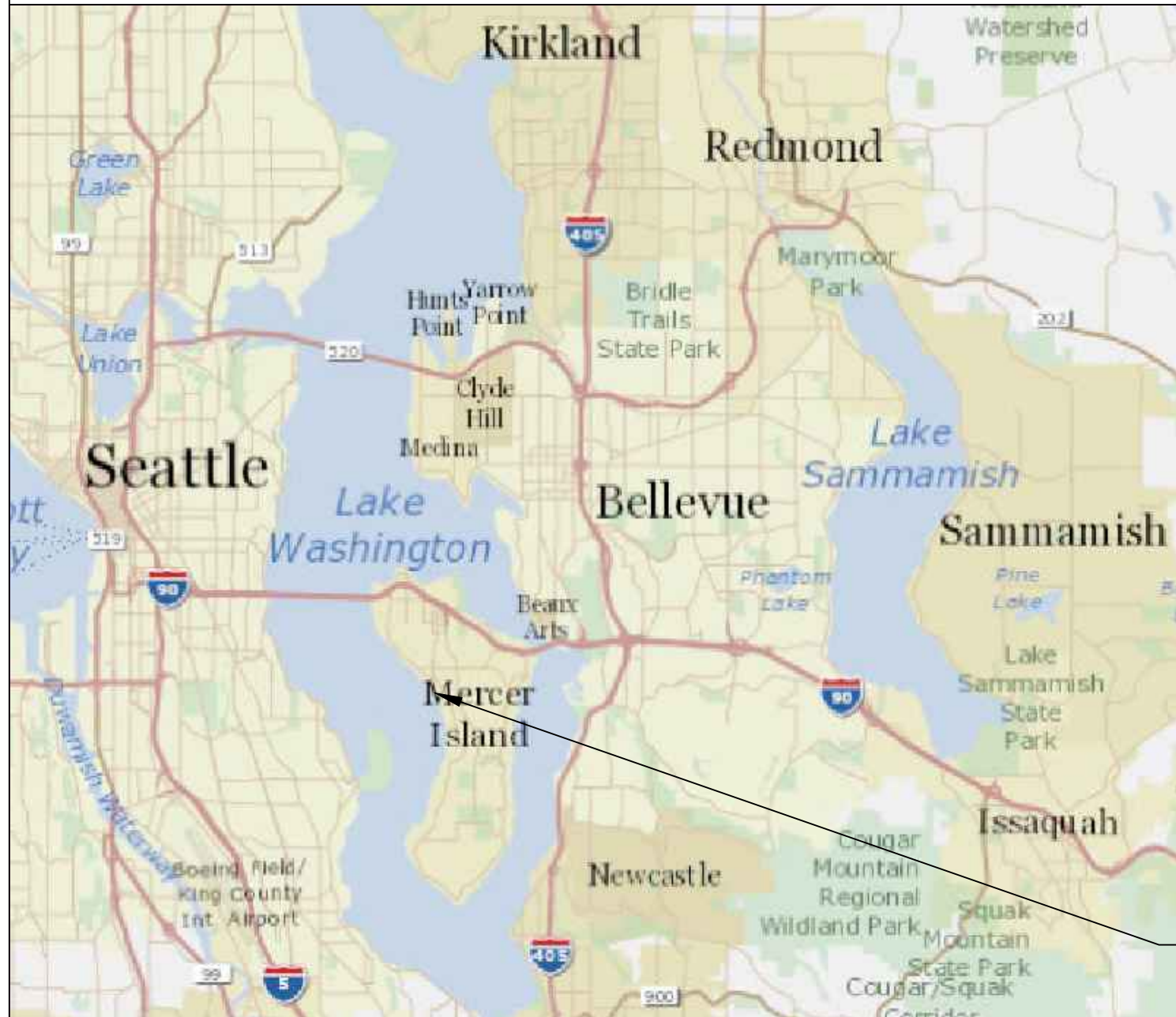
We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

ATTACH RESPONSE TO DECISION CRITERIA IF APPLICABLE

CHECK TYPE OF LAND USE APPROVAL REQUESTED:

APPEALS	DEVIATIONS	SUBDIVISION SHORT PLAT
<input type="checkbox"/> Building	<input type="checkbox"/> Changes to Antenna requirements	<input type="checkbox"/> Short Plat- Two Lots
<input type="checkbox"/> Code Interpretation	<input type="checkbox"/> Changes to Open Space	<input type="checkbox"/> Short Plat- Three Lots
<input type="checkbox"/> Land use	<input type="checkbox"/> Shoreline	<input type="checkbox"/> Short Plat- Four Lots
<input type="checkbox"/> Right-of-Way Use	<input type="checkbox"/> Seasonal Development Limitation Waiver	<input type="checkbox"/> Short Plat- Deviation of Acreage Limitation
CRITICAL AREAS	ENVIRONMENTAL REVIEW (SEPA)	<input type="checkbox"/> Short Plat- Amendment
<input type="checkbox"/> Critical Area Review 1 (Hourly Rate 2hr Min)	<input checked="" type="checkbox"/> SEPA Review (checklist)- Minor	<input type="checkbox"/> Short Plat- Final Plat
<input type="checkbox"/> Critical Area Review 2 (Determination)	<input type="checkbox"/> SEPA review (checklist)- Major	OTHER LAND USE
<input type="checkbox"/> Reasonable Use Exception	<input type="checkbox"/> Environmental Impact Statement	<input type="checkbox"/> Accessory Dwelling Unit
DESIGN REVIEW	SHORELINE MANAGEMENT	<input type="checkbox"/> Code Interpretation Request
<input type="checkbox"/> Pre Design Meeting	<input type="checkbox"/> Exemption	<input type="checkbox"/> Comprehensive Plan Amendment (CPA)
<input type="checkbox"/> Design Review (Code Official)	<input type="checkbox"/> Permit Revision	<input type="checkbox"/> Conditional Use (CUP)
<input type="checkbox"/> Design Commission Study Session	<input type="checkbox"/> Shoreline Variance	<input type="checkbox"/> Lot Line Revision
<input type="checkbox"/> Design Review- Design Commission- Exterior Alteration	<input type="checkbox"/> Shoreline Conditional Use Permit	<input type="checkbox"/> Noise Exception
<input type="checkbox"/> Design Review- Design Commission- New Building	<input checked="" type="checkbox"/> Substantial Development Permit	<input type="checkbox"/> Reclassification of Property (Rezoning)
WIRELESS COMMUNICATION FACILITIES	SUBDIVISION LONG PLAT	<input type="checkbox"/> Transportation Concurrency (see supplemental application form)
<input type="checkbox"/> Wireless Communications Facilities- 6409 Exemption	<input type="checkbox"/> Long Plat- Preliminary	<input type="checkbox"/> Planning Services (not associated with a permit or review)
<input type="checkbox"/> New Wireless Communication Facility	<input type="checkbox"/> Long Plat- Alteration	<input type="checkbox"/> Zoning Code Text Amendment
	<input type="checkbox"/> Long Plat- Final Plat	<input type="checkbox"/> Request for letter
	VARIANCES (Plus Hearing Examiner Fee)	
	<input type="checkbox"/> Variance	

SITE PLAN



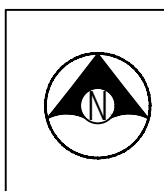
**SUBJECT
PROPERTY**

Pin: 548270-0185

Legal Description: MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ

Plat Block:
Plat Lot: 38-39

LAT: 47.56694 LONG: -122.23289



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

County: King County
Location: Lake Washington

Applicant: Amiga Residence
4421 Forest Ave SE
Mercer Island, WA 98040

Datum: CORPUS OF ENGINEERS 1919
SE Quarter Of Section 13, Township 24, Range 04

Adjacent Owners:
4425 FOREST LLC
4425 FOREST AVE SE 98040

REBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

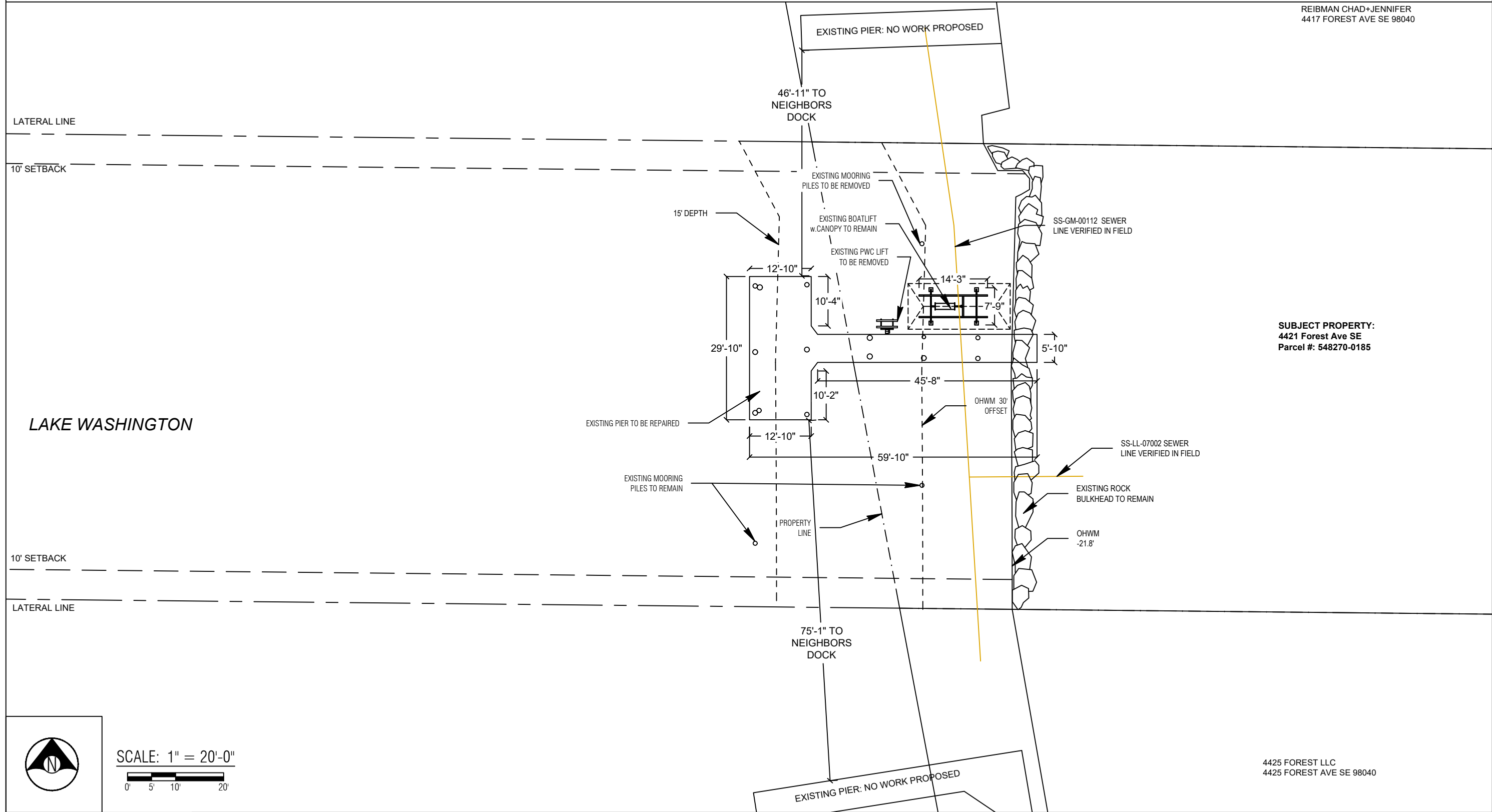
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NWS-2021-XXX
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Created: 05-18-2021
Last Updated: 11/8/2021 5:09 PM Dray

EXISTING CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



REIBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

SUBJECT PROPERTY:
4421 Forest Ave SE
Parcel #: 548270-0185

4425 FOREST LLC
4425 FOREST AVE SE 98040

LATERAL LINE

10' SETBACK

10' SETBACK

LATERAL LINE

LAKE WASHINGTON



SCALE: 1" = 20'-0"
0 5 10 20



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119
Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

County: King County
Location: Lake Washington

Applicant: Amiga Residence
4421 Forest Ave SE
Mercer Island, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 13, Township 24, Range 04

Adjacent Owners:
4425 FOREST LLC
4425 FOREST AVE SE 98040

REIBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

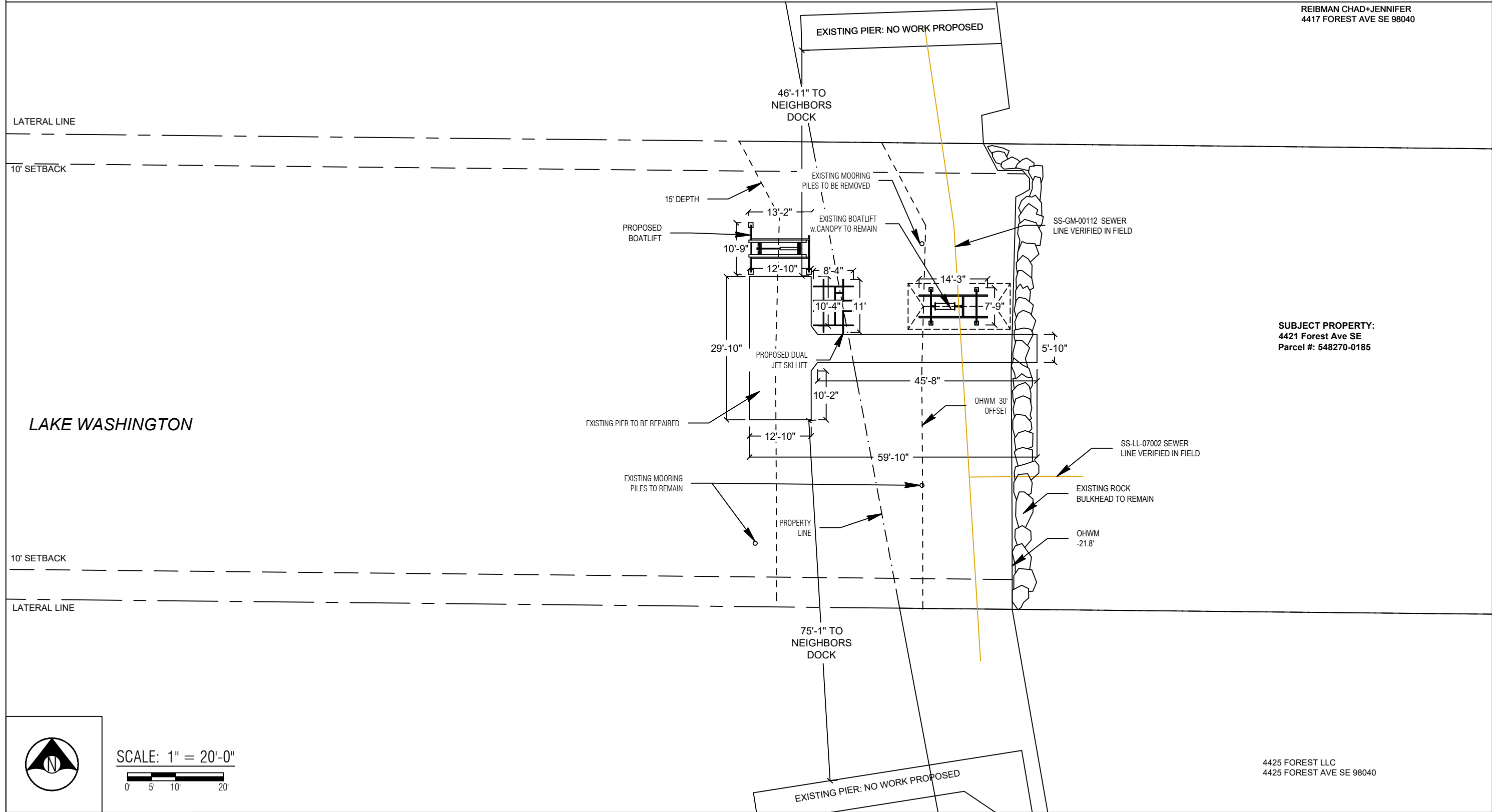
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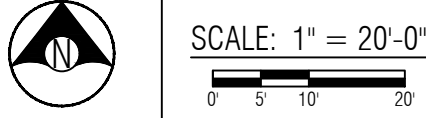
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PROPOSED CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



LAKE WASHINGTON



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PIER DETAILS - EXISTING/PROPOSED

LEGEND

- ⊕ (6) EXISTING PILES - TO BE REPAIRED
- (8) EXISTING PILES - NO WORK TO BE DONE
- (1) EXISTING MOORING PILE - TO BE REMOVED
- (2) EXISTING MOORING PILE - NO WORK TO BE DONE

Area: 650 sqft (total - no work to be done)

EXISTING

- (6) EXISTING CAPS
- (14) EXISTING PILES
- (48) EXISTING STRINGERS

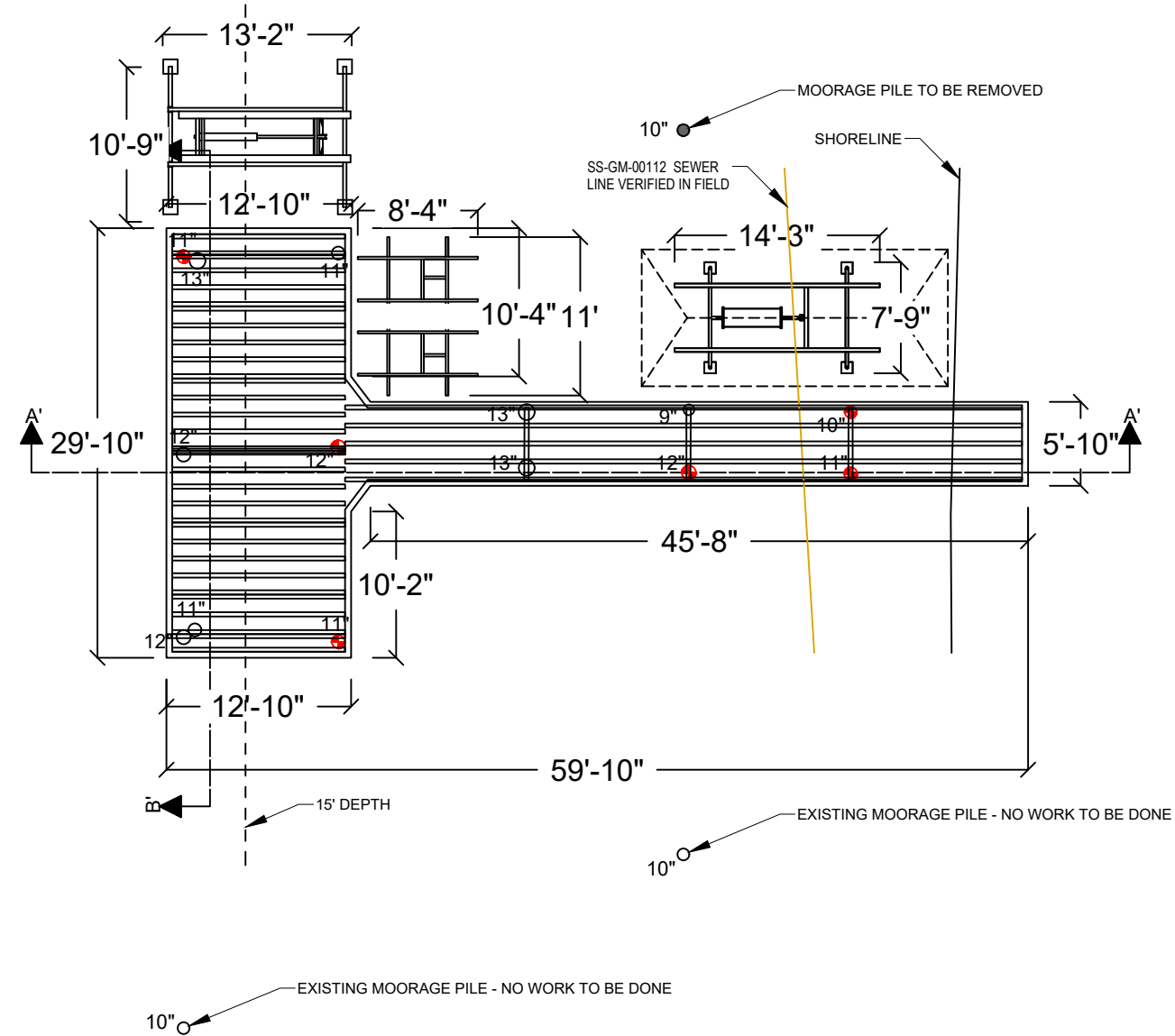
(68) TOTAL STRUCTURE ELEMENTS

TO BE REPAIRED

- (6) EXISTING CAPS TO BE REPAIRED
- (0) EXISTING PILES TO BE REPAIRED
- (0) EXISTING STRINGERS TO BE REPAIRED

(6) TOTAL STRUCTURE ELEMENTS TO BE REPAIRED

(6)/(68) = 9%



PLAN VIEW



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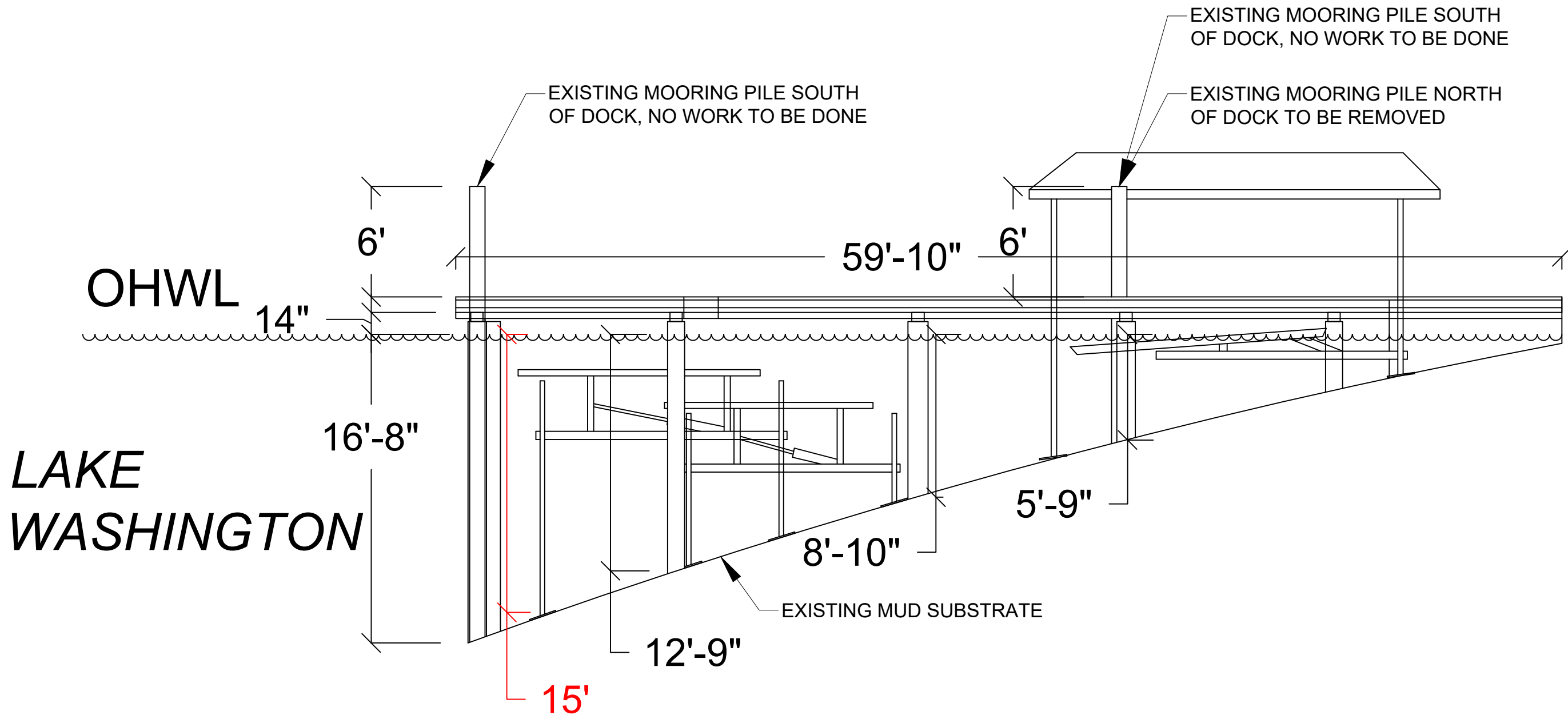
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PIER DETAILS EXISTING/PROPOSED



SECTION VIEW: A'-A'



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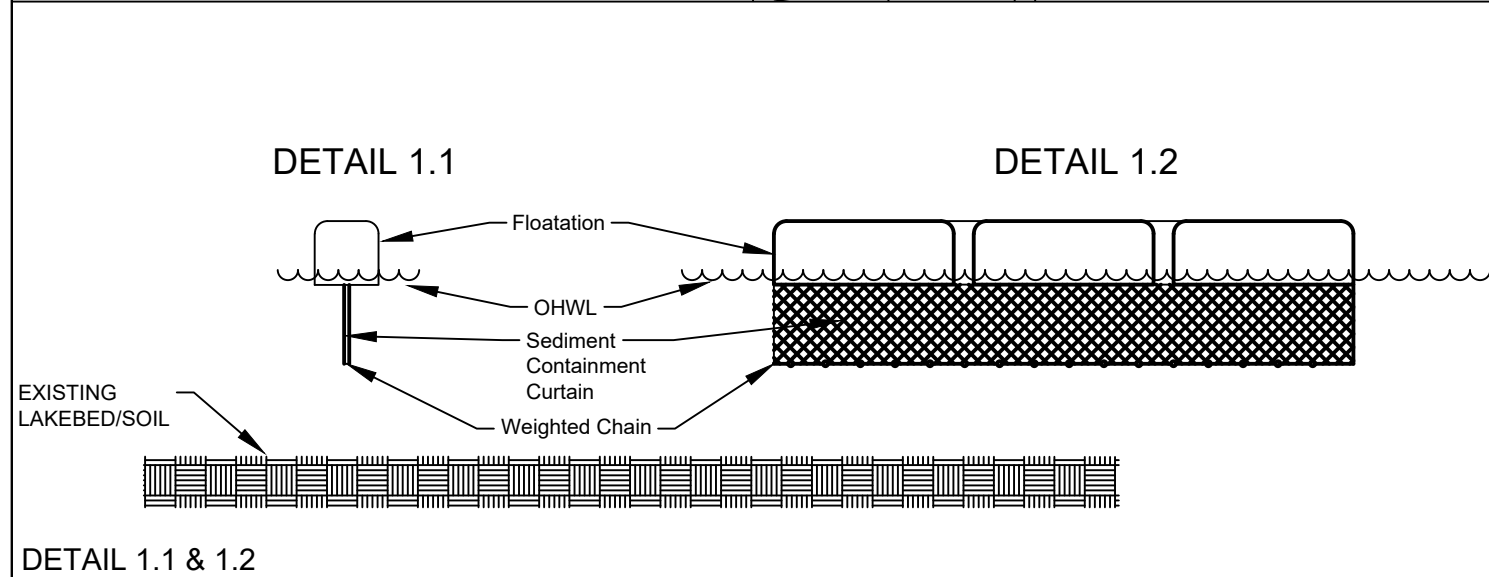
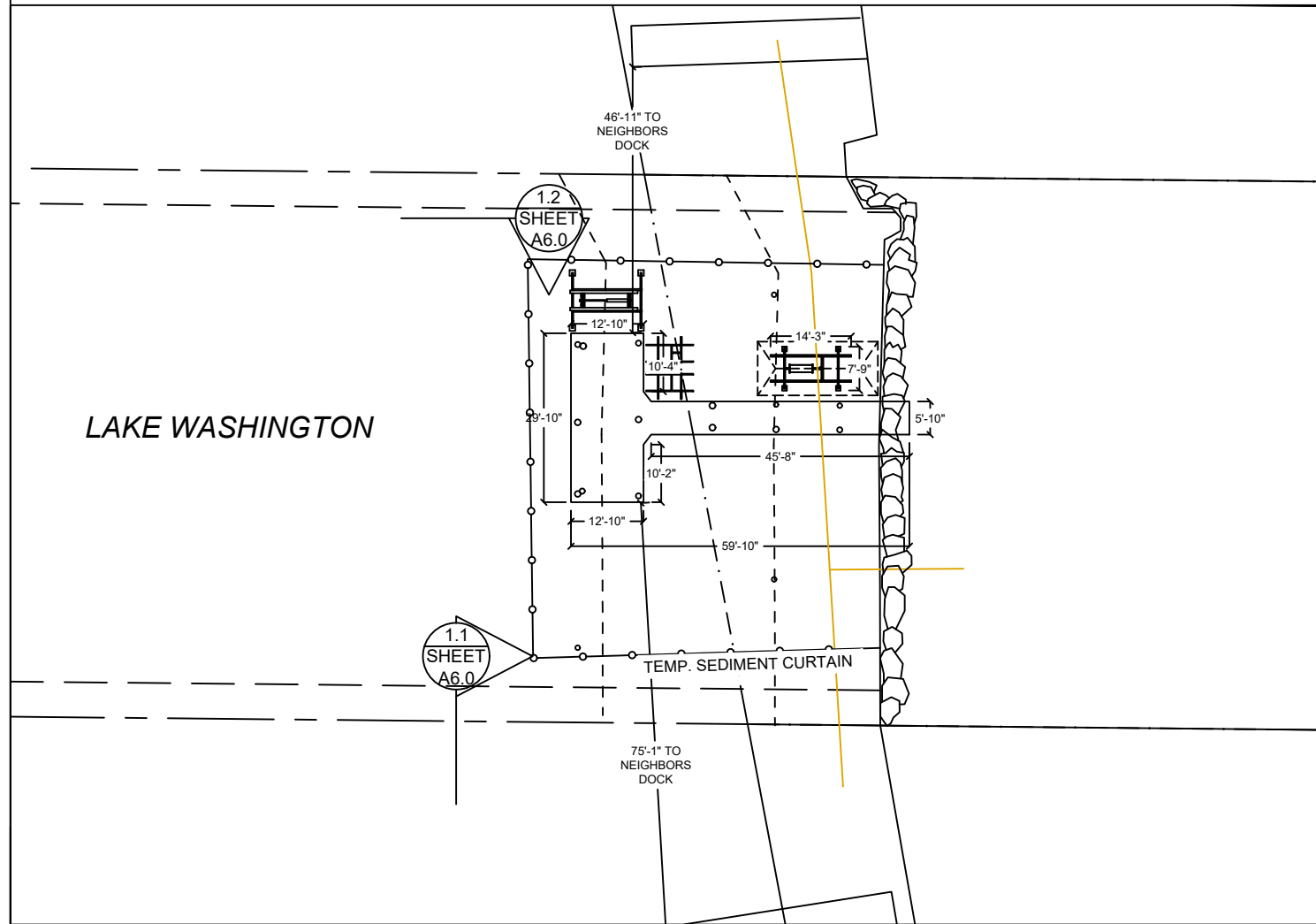
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Created: 05-18-2021

BMP INFORMATION



BMP NOTES:

- A. Constant vigilance shall be kept for the presence of protected fish species during all aspects of the proposed action, particularly during in-water activities such as vessel movement, deployment of anchors & spuds, pile driving, dredging, and placement of gravels and other fill.
 1. The project manager shall designate an appropriate number of competent observers to survey the project site and adjacent areas for protected species, including the presence of fish as conditions allow.
 2. Visual surveys shall be made prior to the start of work each day, and prior to resumption of work following any break of more than an hour. Periodic additional visual surveys throughout the work day are strongly recommended.
 3. All in-water work shall be done during the in-water work window for the waterbody. Where there is a difference between the USCOE and WDFW work windows, the overlap of the two shall apply.
 4. All pile driving and extraction shall be postponed or halted when obvious aggregations or schooling of fish are observed within 50 yards of that work, and shall only begin/resume after the animals have voluntarily departed the area.
 5. When piloting vessels, vessel operators shall operate at speeds and power settings to avoid grounding vessels, and minimize substrate scour and mobilization of bottom sediments.
- B. No contamination of the marine environment shall result from project-related activities.
 1. Appropriate materials to contain and clean potential spills shall be stored and readily available at the work site and/or aboard project-related vessels.
 2. The project manager and heavy equipment operators shall perform daily pre-work equipment inspections for cleanliness and leaks. All heavy equipment operations shall be postponed or halted should a leak be detected, and shall not proceed until the leak is repaired and the equipment is cleaned.
 3. To the greatest extent practicable, utilize biodegradable oils for equipment that would be operated in or near water.
 4. Fueling of land-based vehicles and equipment shall take place at least 50 feet away from the water, preferably over an impervious surface. Fueling of vessels shall be done at approved fueling facilities.
 5. Turbidity and siltation from project-related work shall be minimized and contained through the appropriate use of erosion control practices, effective silt containment devices, and the curtailment of work during adverse weather and tidal/flow conditions.
 6. All wastes shall be collected and contained for proper disposal at approved upland disposal sites appropriate for the material(s).
 7. When removing piles and other similarly treated wood, containment booms must fully enclose the work area. Wood debris, oils, and any other materials released into lake waters must be collected, removed, and properly disposed of at approved disposal sites.
 8. All in- and over-water wood cutting would be limited to the minimum required to remove the subject wood component, and all cutting work should be enclosed within floating containment booms.
 9. When removing piles, no actions shall be taken that would cause adhering sediments to return to lake waters.
 10. Above-water containment shall be installed around removed piles to prevent sediment laden waters from returning to lake waters.
 11. Construction staging (including stocking of materials, etc.) will occur on the supply barge.
 12. All Exposed wood to be used on the project will be treated with a cheminite treatment.



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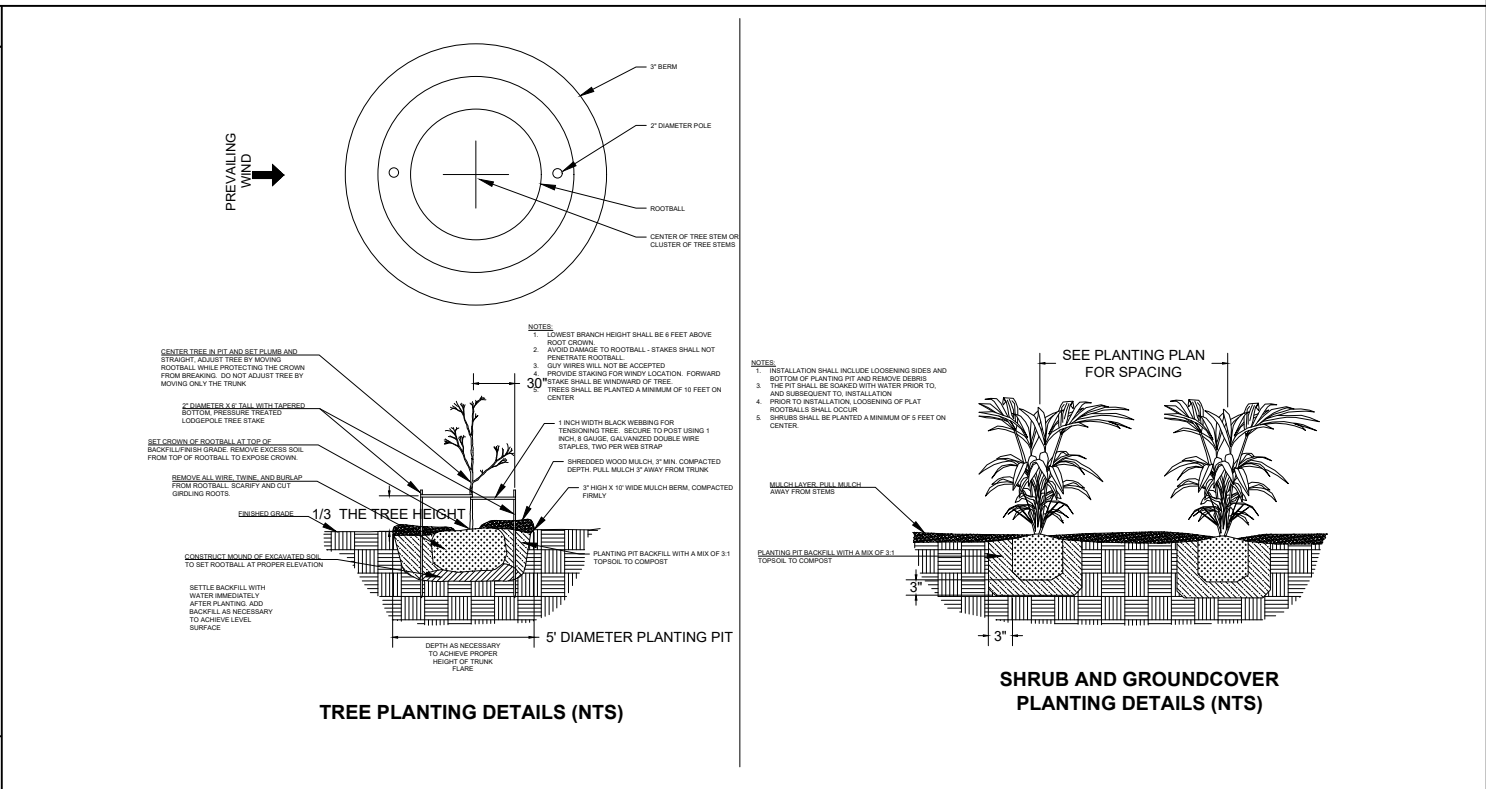
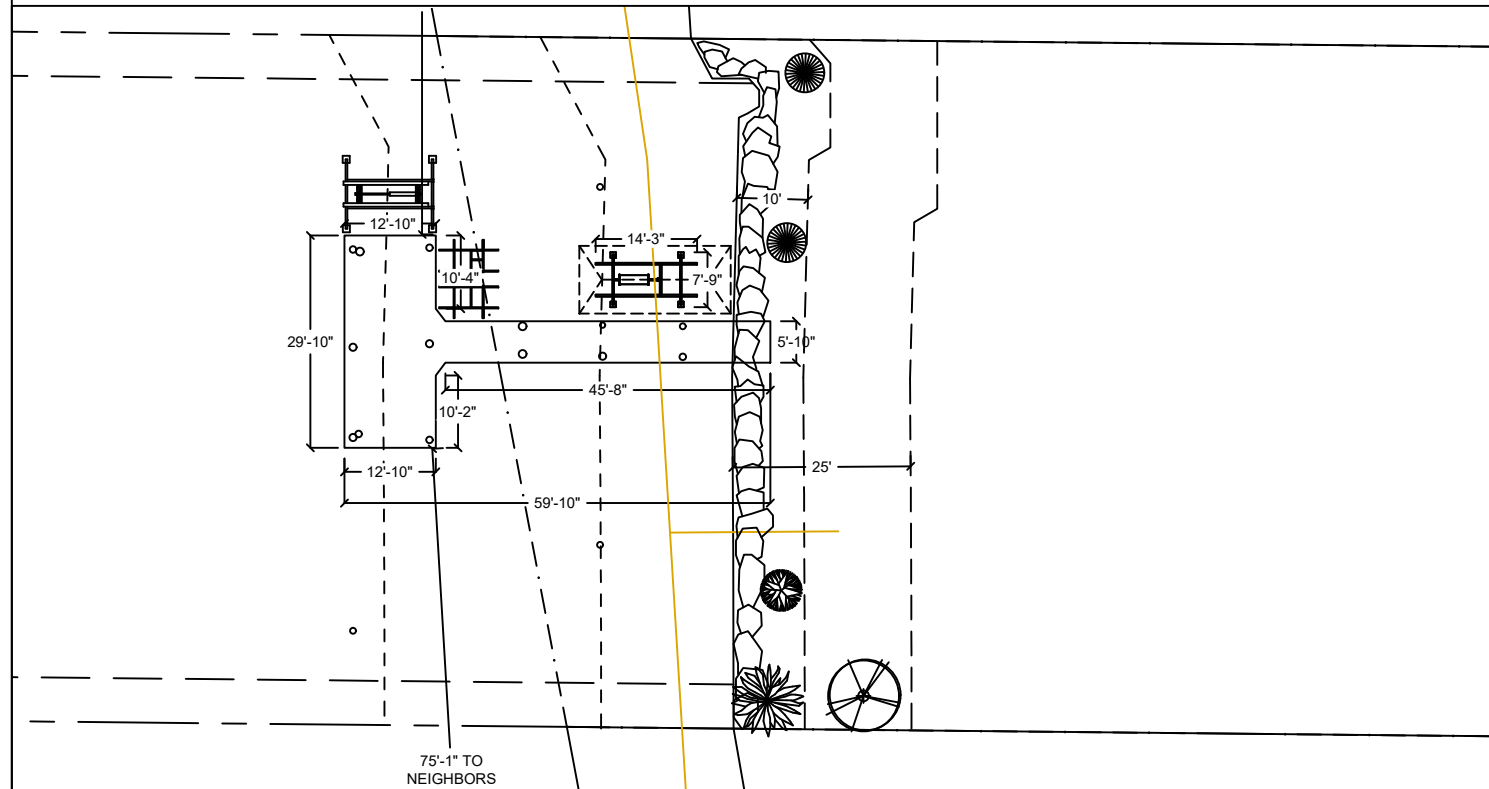
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MITIGATION PLAN



- Notes:**
1. Shrubs are show, and shall be planted, at least five feet on center. Trees are show, and shall be planted, at least ten feet to center.
 2. The property owner will implement and abide by the shoreline planting plan. The plants shall be installed before or concurrent with the work authorized by this permit. A report, as-built drawing and photographs demonstrating the plants have been installed or a report on the status of project construction will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of permit issuance. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Report for Mitigation Work Completion form.
 3. The property owner will maintain and monitor the survival of installed shoreline plantings for five years after the U.S. Army Corps of Engineers accepts the as-built report. Installed plants shall achieve 100% survival during monitoring Years 1 and 2. Installed plants shall achieve at least 80% survival during monitoring Years 3, 4 and 5. Percent survival is based on the total number of plants installed in accordance with the approved riparian planting plan. Individual plants that die will be replaced with native riparian species in order to meet the survival performance standards.
 4. The property owner will provide annual monitoring reports for five years (Monitoring Years 1-5). Each annual monitoring report will include written and photographic documentation on plant mortality and replanting efforts and will document whether the performance standards are being met. Photos will be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation will include a panoramic view of the entire planting area. Submitted photos will be formatted on standard 8 1/2 x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points will be identified on an appropriate drawing. Annual shoreline planting monitoring reports will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 31 of each monitoring year. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Mitigation Planting Monitoring Report form.

PROPOSED PLANTING SPECIES/QUANTITIES

SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE
	<i>Thuja picatta</i>	Western Redcedar	1	3 ft
	<i>Pinus contorta v contorta</i>	Shore pine	1	3 ft
	<i>Rosa nutkana</i>	Nootka Rose	1	1 Gallon
	<i>Philadelphus lewisii</i>	Mock Orange	2	1 Gallon

PLANTS: Shrubs to be installed 5ft on center and trees to be installed 10ft on center.

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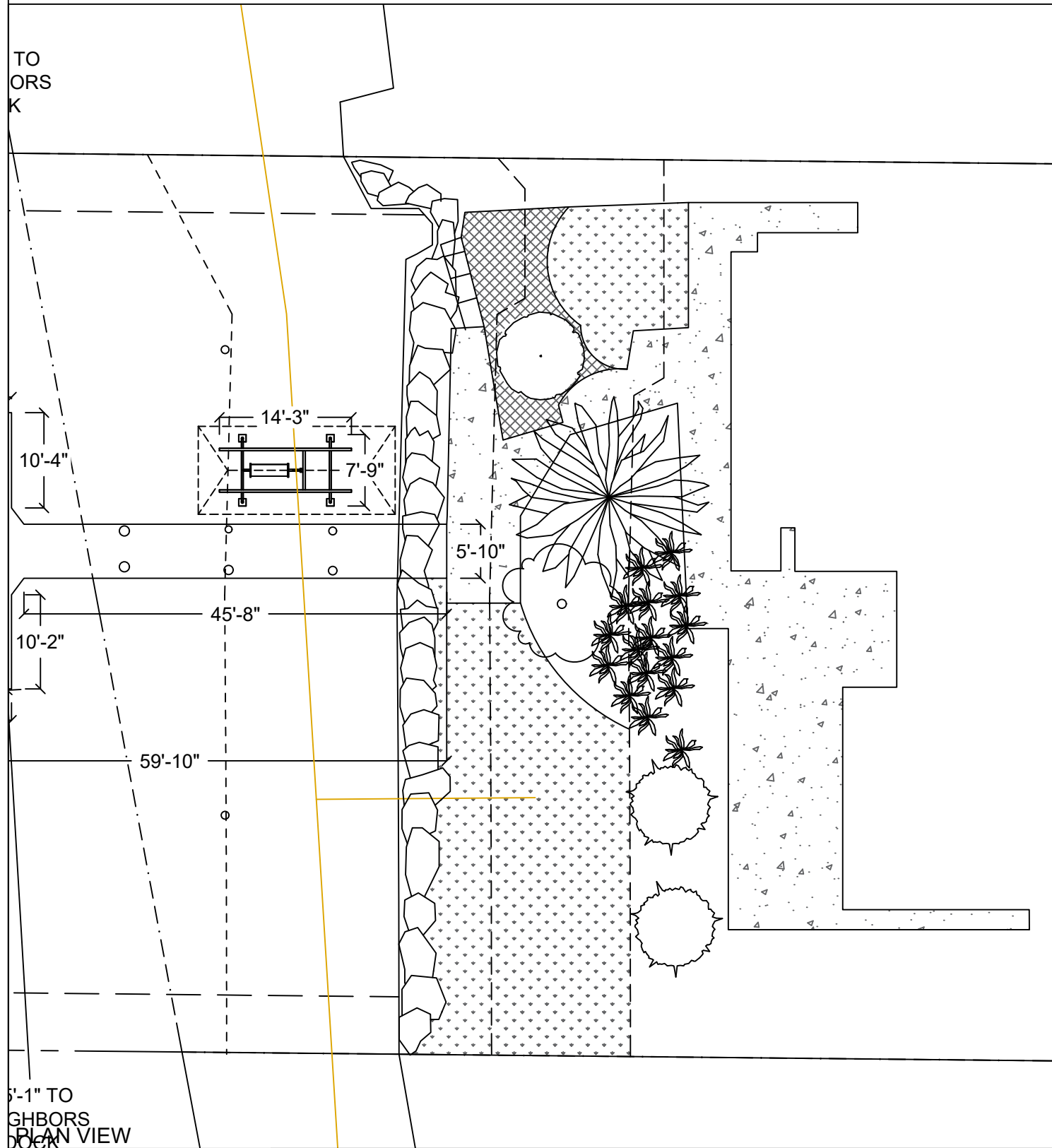


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EXISTING PLANT PLAN



EXISTING PLANTING SPECIES/QUANTITIES

SYMBOL	SCIENTIFIC NAME	COMMON NAME	QTY	SIZE
	-	-	16	3ft
	-	-	1	10ft
	-	-	2	10ft
	Arecaceae	Palm Tree	1	30ft
	-	-	1	10ft
	Poaceae	Grass	N/A	Large
	Hedera helix	English Ivy	N/A	Large

EXISTING PLANTS TABLE

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GENERAL NOTES:

MATERIALS SPEC LIST:

Boat Lifts:

- * 93" x 171" (existing boat lift)
- * 129" x 158" (proposed boat lift)
- * 100" x 132" (proposed dual jet ski)

PILES:

- * Repair piles are done as a sleeve/strap method
- * Piles are driven using the vibro method

SEWER:

- * All sewer is field verified by probing the lake bed manually during the allowed work windows for the area.

CODE REFERENCES: Mercer Island

We are applying for the permit to be reviewed under the:

“Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities” per MIMC 19.13050(F)(2).

2. Development Standards for Replacement, Repair and Maintenance of Overwater Structures, Including Moorage Facilities. The maintenance, repair and complete replacement of legally existing overwater structures is permitted; provided, that:

- i. All permit requirements of federal and state agencies are met;
- The plan set is under review by WDFW and CORPS.**
- ii. The area, width, or length of the structure is not increased, but may be decreased;

The structure is not being altered.

iii. The height of any structure is not increased, but may be decreased; provided, that the height above the OHWM may be increased as provided in subsection (F)(2)(ix)(b) of this section;

The structure is not being altered.

iv. The location of any structure is not changed unless the applicant demonstrates to the director’s satisfaction that the proposed change in location results in: (A) a net gain in ecological function, and (B) a higher degree of conformity with the location standards for a new overwater structure;

The structure is not being altered.

v. Piles shall not be treated with pentachlorophenol, creosote, CCA or comparably toxic compounds. If ammoniacal copper zinc arsenate (ACZA) pilings are proposed, the applicant shall meet all of the best management practices, including a post-treatment procedure, as outlined in the amended Best Management Practices of the Western Wood Preservers. All piling sizes are in nominal diameter; Any paint, stain or preservative applied to components of the overwater structure must be leach resistant, completely dried or cured prior to installation. Materials shall not be treated with pentochlorophenol, creosote, CCA or comparably toxic compounds;

The piles will be repaired with epoxy coated steel.

vii. The applicant shall abide by the work windows for listed species established by the U.S. Army Corps of Engineers and Washington Fish and Wildlife;

All work will be done within the work windows.

viii. Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 29 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

The bank vegetation will not be disturbed.

ix. Structural Repair. The structural repair, which may include replacement of framing elements, of moorage facilities that results in the repair of more than 50 percent of the structure’s framing elements within a five-year period shall comply with subsections (F)(2)(ix)(a) through (F)(2)(ix)(c) of this section. For this section, framing elements include, but are not limited to, stringers, piles, pile caps, and attachment brackets, as shown in Figure D:

The structural repair will not exceed 50 percent.

a. One hundred percent of the decking area of the pier, dock, and any platform lifts must be fully grated with materials that allow a minimum of 40 percent light transmittance;

The decking will not be altered.

b. The height above the OHWM for moorage facilities, except floats, shall be a minimum of one and one-half feet and a maximum of five feet; and

The height above the OHWM is not being altered.

c.c. An existing moorage facility that is five feet wide or more within 30 feet waterward from the OHWM shall be replaced or repaired with a moorage face

The dock is not being altered.

x. Exterior surface repair. The exterior surface repair, which may include the replacement of exterior surface materials of moorage facilities that results in the repair of more than 50 percent of the surface area of the moorage facility’s decking, fascia, and platform lifts within a five-year period (see Figure D), shall be required to utilize materials that allow a minimum of 40 percent light transmittance over 100 percent of the dock; and

The repair will not exceed 50 percent.

xi. Any decking that is removed in the course of repair shall be replaced with decking materials that allow a minimum of 40 percent light transmittance.

No decking will be removed.

Mitigation" Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success;

Last permit issued for property: 1112-086

Dock established/constructed: 12/15/2011

SEABORN ESTD 1947	Seaborn Pile Driving 1080 W Ewing St Seattle, WA 98119 Office: 206-236-1700 ext. 3 www.seabornpiledriving.com	Scope of Work: We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.	SHEET A9.0
Datum: CORPS OF ENGINEERS 1919 SE Quarter Of Section 13, Township 24, Range 04	Applicant: Amiga Residence 4421 Forest Ave SE Mercer Island, WA 98040	County: King County Location: Lake Washington	Created: 05-18-2021 Last Updated: 5/31/2022 9:03 AM Dray
		Adjacent Owners: REIBMAN CHAD+JENNIFER 4417 FOREST AVE SE 98040	NWS-2021-XXX PAGE 9 OF 9

GENERAL

- ALL CONSTRUCTION SHALL CONFORM TO THESE PLANS.
- CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS, AND EXISTING CONDITIONS IN THE FIELD BEFORE PROCEEDING. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR FIELD CHANGES PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ENGINEER BEFORE PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS (\pm) OR REF INDICATE UNVERIFIED DIMENSIONS AND ARE APPROXIMATE. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR EXCESSIVE VARIATIONS FROM INDICATED DIMENSIONS, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS – DO NOT SCALE DRAWINGS. DIMENSIONS OF EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS AND ARE TO BE FIELD-VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS AND EXISTING MEMBERS, AS REQUIRED, AND IN A MANNER SUITABLE TO WORK SEQUENCE. TEMPORARY SHORING AND BRACING SHALL NOT BE REMOVED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND MATERIALS HAVE ACHIEVED DESIGN STRENGTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED TO PERFORM THE WORK.
- ALL MATERIALS SHALL BE NEW, UNO.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE DRAWINGS, NOTES, AND MANUFACTURER RECOMMENDATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THESE DOCUMENTS, THE ENGINEER SHALL BE CONTACTED FOR DIRECTION.
- THE CONTRACTOR SHALL CAREFULLY DECONSTRUCT EXISTING ELEMENTS AS NECESSARY TO ACCESS THE WORK AREAS. SUCH DECONSTRUCTION MAY INCLUDE, INTERIOR AND EXTERIOR FINISHES. ALL DECONSTRUCTION ELEMENTS SHALL BE RECONSTRUCTED TO MATCH THE ORIGINAL APPEARANCE AND MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.
- ALL MOORAGE COVERS AND LIFTS SHALL BE FREESTANDING AND SHALL NOT BE ATTACHED TO THE DOCK, UNLESS NOTED OTHERWISE.

CODES AND STANDARDS

- ALL METHODS AND MATERIALS SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE, 2018 EDITION.
- AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARD 7-16 MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES.
- WOOD WORK SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION (NDS) 2018 EDITION.
- AMERICAN SOCIETY FOR TESTING AND MATERIALS, CURRENT EDITION

DESIGN CRITERIA

GRAVITY LOADS: LIVE LOAD = 40 PSF
SNOW LOAD = 25 PSF

THERE IS NO SIGNIFICANT CHANGE TO THE GRAVITY OR LATERAL LOADING OF THE EXISTING TIMBER PILES; LOADS HAVE NOT BEEN CALCULATED FOR THESE CASES, AND THE EXISTING PILES ARE OK BY INSPECTION.

WIND DESIGN: WIND LOAD IS BASED ON ASCE 7 CHAPTER 29 WITH THE FOLLOWING FACTORS

EXPOSURE CATEGORY = D RISK CATEGORY = II
 $V_{3s} = 98\text{MPH}$ WIND IMPORTANCE FACTOR, $I_w = 1.0$

DESIGN VESSEL IS 30' LONG WITH MAX SAIL AREA OF 345 SF

WAVE LOADS: P = 573 LBS

LIVE LOADS: LIVE LOAD = 40 PSF
SNOW LOAD = 25 PSF

SEISMIC LOADS: MOORAGE COVER R = 1.0
DOCK PILING R = 2.0
SEISMIC IMPORTANCE – 1.0
SD1 = 0.541g

STRUCTURAL STEEL

- ALL MISCELLANEOUS STEEL SHAPES AND PLATES, EXCEPT AS NOTED BELOW, SHALL CONFORM TO ASTM 36.
- ALL WF SHAPES SHALL CONFORM TO ASTM A992, $F_y = 50$ KSI
- ALL PILES SHALL CONFORM TO ASTM A252 GRADE 3, $F_y = 45$ KSI
- ALL BOLTS SHALL BE ASTM A307, UNO.
- ALL NUTS SHALL BE ASTM A563, UNO.
- ALL WASHERS SHALL BE ASTM F436, UNO.
- ALL THREADED RODS SHALL CONFORM TO ASTM F1554, GRADE 36.
- ALL STEEL MEMBERS AND FASTENERS THAT ARE NOT EPOXY COATED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A153 AS APPLICABLE.

WELDING

- ALL WELDING SHALL BE PREFORMED BY WELDERS QUALIFIED FOR THE WELD AND POSITION SHOWN IN ACCORDANCE WITH AWS AND HAVING CURRENT CERTIFICATION FROM WABO.
- ALL WELDS SHALL BE PERFORMED WITH PROCEDURES PREQUALIFIED OR QUALIFIED IN ACCORDANCE WITH AWS D1.1.
- THE WELDS SHOWN ARE FOR THE FINAL CONNECTIONS, FIELD WELD SYMBOLS ARE SHOWN WHERE FIELD WELDS ARE REQUIRED BY THE STRUCTURAL DESIGN. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING IF A WELD SHOULD BE SHOP OR FIELD WELDED IN ORDER TO FACILITATE THE STRUCTURAL STEEL ERECTION.
- WELDING ELECTRODES SHALL BE 70 KSI STRENGTH AND SHALL BE "LOW-HYDROGEN ELECTRODES."

WOOD

- EACH PIECE OF LUMBER SHALL BEAR A STAMP INDICATING A GRADE MARK OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), WESTERN WOOD PRODUCTS ASSOCIATION (WWPA), OR OTHER AGENCY ACCREDITED BY THE AMERICAN STANDARD COMMITTEE (ALSC).
- DIMENSION LUMBER SHALL BE P.T. DOUG-FIR NO 2 OR BETTER.
- STRUCTURAL GLUED LAMINATED TIMBER SHALL BE ALASKAN CEDAR AC.AC 20F-V12.
- WOOD SHALL BE SEASONED DRY WITH A MAXIMUM MOISTURE CONTENT OF 19%.
- PRESERVATIVE TREATED WOOD SHALL CONFORM TO THE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) UC4A. ALL WOOD SHALL BEAR A TREATMENT IDENTIFICATION MARK BY THE CERTIFYING AGENCY.
- ALL BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM OF 1/32" TO MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER. PROVIDE PLATE WASHERS WHERE NUTS, BEAR ON WOOD. CUT WASHERS SHALL MEASURE 2 1/4" ϕ x 3/16" THICK.

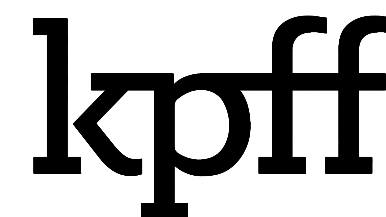
DECKING

- DECK GRATING SHALL BE SUNWALK 90 SERIES OR APPROVED EQUAL.

ABBREVIATIONS

@	AT
AWS	AMERICAN WELDING SOCIETY
CL	CENTER LINE
CLR	CLEAR
COL	COLUMN
CONT.	CONTINUOUS
DF	DOUG FIR
EA	EACH
EX OR (E)	EXISTING
LLH	LONG LEG HORIZONTAL
MIN	MINIMUM
MNFR	MANUFACTURER
OC	ON CENTER
OPP	OPPOSITE
PL	PLATE
PSI	POUNDS PER SQUARE INCH
PSF	POUNDS PER SQUARE FOOT
P.T.	PRESERVATIVE TREATED
SF	SQUARE FOOT
REF	REFERENCE
SIM	SIMILAR
SS	STAINLESS STEEL
t	THICK
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
WABO	WASHINGTON ASSOCIATION OF BUILDING OFFICIALS
WF	WIDE FLANGE
W/	WITH

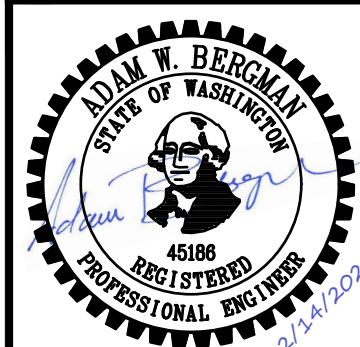
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2407 North 31st Street, Suite 100
Tacoma, Washington 98407
(253) 396-0150 Fax (253) 396-0162



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119
Office: 206-236-1700 ext. 3
www.seabornpiledriving.com



NO.	DATE	BY	REVISION

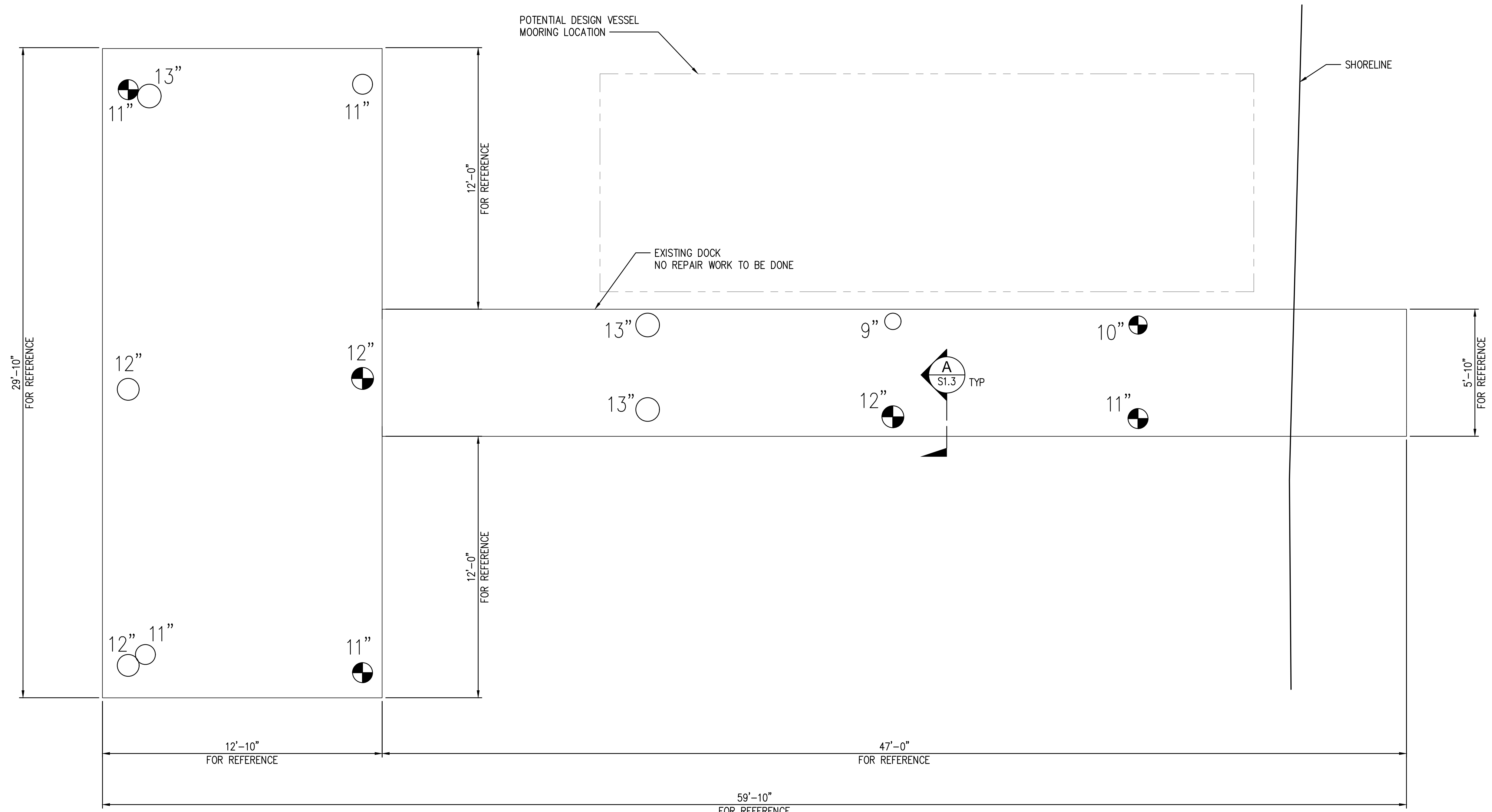
AMIGA ORI RESIDENCE
4421 FOREST AVE SE, MERCER ISLAND, WA 98040

STRUCTURAL NOTES

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DESIGN: TAD	SCALE: AS SHOWN
CHECKED: AWB	DATE: 11/12/2021
DRAWING NO.	S1.1
SHEET NO.	01 OF 03

FOR PERMIT

Plotted: Dec 06, 2021 - 3:47pm gmachuca
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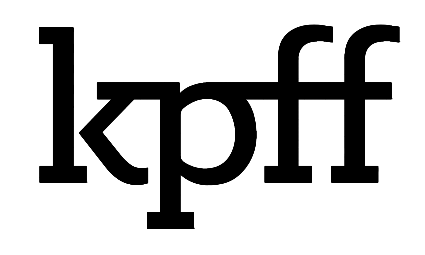
LEGEND

- ⊗ AS NOTED EX PILES TO BE REPAIRED, SIZE VARIES
- AS NOTED EX PILE NO WORK TO BE DONE, SIZE VARIES

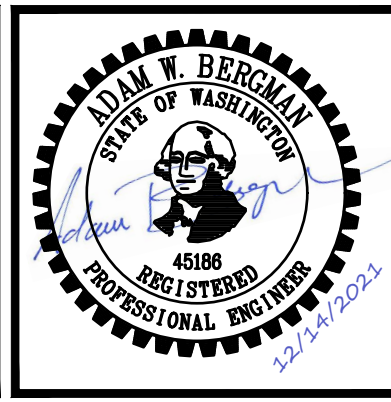
PILE REPAIR PLAN
SCALE: 3/8" = 1'-0"

NOTES

1. (N) STEEL PIPE PILES SHALL BE INSTALLED WITH 13' MINIMUM EMBEDMENT. ENGINEER SHALL BE NOTIFIED IF PILE REACHED REFUSAL BEFORE 13' OF EMBEDMENT.
2. LONG TERM MOORAGE OF LARGE VESSEL IS ONLY EXPECTED UNDER THE MOORAGE COVER. DESIGN LOCATION FOR MOORAGE BESSELS ARE SHOWN ON PLAN - SEE STRUCTURAL NOTES FOR VESSEL SIZE.
3. ALL PWC LIFTS, PLATFORM LIFTS, AND BOAT LIFTS, WHETHER PROPOSED OR RELOCATED, ARE FREE STANDING AND SHALL NOT BE SUPPORTED BY THE DOCK.



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NO.	DATE	BY	REVISION

AMIGA ORI RESIDENCE
 4421 FOREST AVE SE, MERCER ISLAND, WA 98040

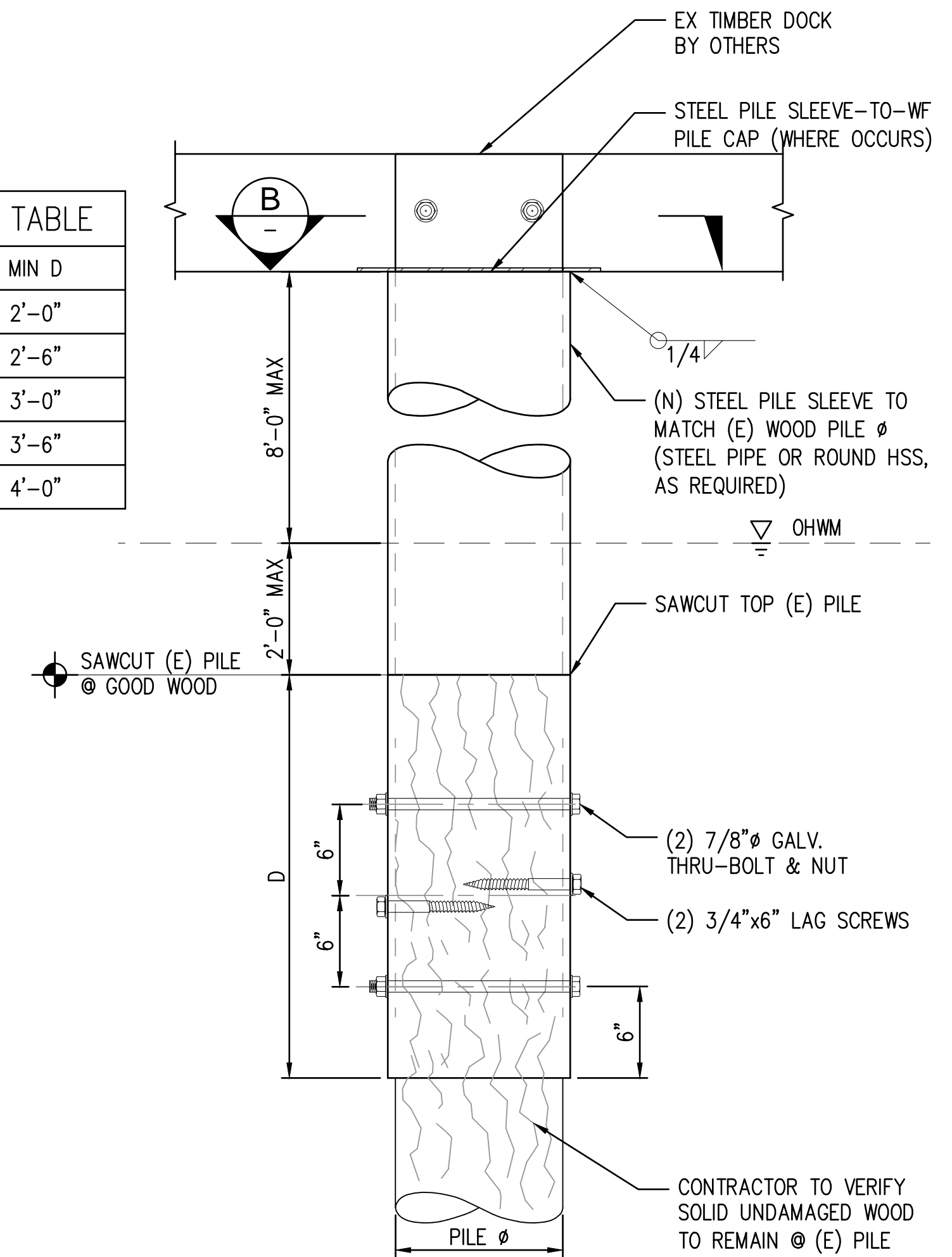
PILE REPAIR PLAN

DRAWN: GM	PROJECT NO.: 2100134
DESIGN: TAD	SCALE: AS SHOWN
CHECKED: AWB	DATE: 11/12/2021
DRAWING NO.	S1.2
SHEET NO.	02 OF 03

FOR PERMIT

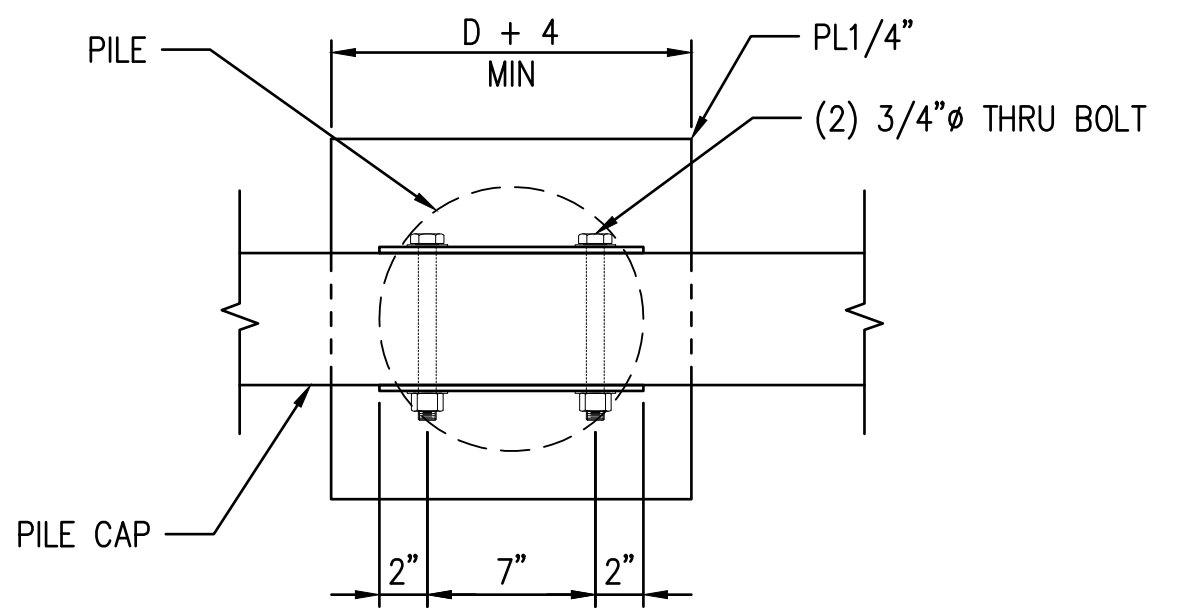
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STEEL SLEEVE TABLE	
PILE ϕ	MIN D
0'-8"	2'-0"
0'-10"	2'-6"
1'-0"	3'-0"
1'-2"	3'-6"
1'-4"	4'-0"



CONTRACTOR TO VERIFY THAT THE PILE FITS SNUGLY IN THE SLEEVE SUCH THAT THERE IS UNIFORM BEARING OF THE PILE AGAINST THE SLEEVE.

A PILE SPLICE - STEEL SPLICE
 ST.2 SCALE: 1 1/2" = 1'-0"



B SECTION
 SCALE: 1 1/2" = 1'-0"



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NO.	DATE	BY	REVISION

AMIGA ORI RESIDENCE
 4421 FOREST AVE SE, MERCER ISLAND, WA 98040

SECTION AND DETAIL

DRAWN: GM	PROJECT NO.: 2100134
DESIGN: TAD	SCALE: AS SHOWN
CHECKED: AWB	DATE: 11/12/2021
DRAWING NO.	S1.3
SHEET NO.	03 OF 03

FOR PERMIT

Applicant Information

Project Address: 4421 Forest Ave SE Mercer Island, WA 98040

Parcel Number: 548270-0185

Applicant: Seaborn Pile Driving Company, 1080 W Ewing St Building B, Seattle, WA 98119
206-236-1700

Property Owner: Ori Amiga

Legal Description: MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ

Description of Work: We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

Job specific comments

Purpose

The proposed dock is to provide for safe boat moorage and safe water recreational activities for a single-family residence.

Habitat Enhancement

The proposed planting plan has been designed to mitigate for the existing and proposed pier.

Water Quality

In order to prevent debris from entering the lake during the project, a containment boom will surround the crane barge and work area.

Permits

Mercer Island Exemption Permit:

We are applying for the permit to be reviewed under the:

“Alternative Development Standards” per MIMC 19.13050(F)(3)

Mitigation

Shoreline Plantings: The shoreline plantings have been designed to provide the spread of tree and shrub nutrients into the adjacent waters of Lake Washington.

Piles: The proposed pier has been designed to maximize the distance between pile bents and minimize the number of piles. The proposed 6" – 8" piles meet local building codes and reduce the pile footprint.

Contractor: Seaborn Pile Driving Company License #: SEABOPD942CG

Address: 1080 W Ewing St. Bldg B. Seattle WA 98119

Office: 206.236.1700

Mobile: 253-459-3267

Contact: Madison Johnson

Email: permits@seabornpiledriving.com

Construction Narrative

Mobilization

Mobilize crew, crane barge, supply and debris barges, and materials on site

Pile Repair Standard Pile Stub Method

1. Construct a silt fence/boom waterward of the bulkhead to contain any silt and debris that may be generated during construction.
2. Cut the pile below the waterline.
3. Using a steel can pile attach it to the existing stub with epoxy-coated steel thru-bolts and nuts.
4. Confirm the pilings are straight and solid.
5. Cut the pilings to elevation.
6. Attach the new pile repair to the existing pile cap.
7. Clean the work area and remove the silt fence/boom.

Mooring Pile Removal

1. Construct a silt fence/boom waterward of the bulkhead to contain any silt and debris that may be generated during construction.
2. Attach a chain to the base of the existing pile.
3. Using the crane, pull the pile from the lakebed and place on the debris barge for disposal in an approved upland disposal site.
4. Clean the work area and remove the silt fence/boom.

Structural Notes

General

- All materials, workmanship, design, and construction shall conform to the submitted drawings and the International Building Code.
- The contractor will be responsible for all safety precautions and methods and processes to perform the designated work.

Design Criteria

- The existing design and construction meets the live load specification of a minimum of 40 PSF.

Materials

All materials used in the construction of the dock will be for use on the water and of the highest quality available on the market. All materials will conform to the International Building Code.

For example:

- Wood piles and pile stubs. The proposed wood pile stub will be Class B (12" @ 3' from Butt) – 40' Douglas Fir pilings per ASTM D-25.
- Steel pile collars – ASTM A53 GrB with Devran 261QC low temperate cure epoxy (16 mils) finish coated full length.
- Structural Lumber – All lumber will be graded and marked in conformance with WCLIB standard grading rules.
- Fasteners – All fasteners, bolts, nuts and nails will be epoxy-coated.
- Decking – The decking will consist of SunWalk fiberglass grating which is pet and children friendly and will provide years of safe and comfortable use.

Preservatives

- All wood preservatives to be state approved and will be applied and fully cured prior to installation over the water.
- All hardware and fasteners to be epoxy-coated.

Best Management Practices

1. Above the Water Line Work

1. Seaborn Pile Driving Company will employ one each crane barge, one supply and one debris barge to complete the scope of work. A tug will tow the barges on and off the job site.
2. Seaborn Pile Driving Company personnel working in, near or over the water will at all time wear either USCG approved life vests or work vest as well as hard hats and safety glasses.

2. Material Handling

1. While at the job site, a floating containment boom will completely surround the work area.
2. All removed piles and the existing dock structure will be placed on the debris barge where they will be contained and kept out of the lake.

3. Hazardous Materials

- No hazardous materials will be mixed or stored in or near the water. No cleaning of materials will be performed in or near the water.

4. Polluting Materials in Water

- Seaborn Pile Driving Company will take extra precautions to ensure materials don't fall into or pollute the water. Any material that enters the water will be removed immediately. Any hazardous material such as oily rags will not be handled near or over the water.
- A spill kit will be employed on the barges at the job site.
- If any pollutants enter the water, Seaborn Pile Driving Company will contact the appropriate agencies and report the spill immediately.

5. Materials Disposal

- Seaborn Pile Driving Company will dispose of the rotten wood and pile sections in an approved legal disposal site in accordance with all applicable laws and permit requirements.



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1080 W. Ewing St. Bld B.
Seattle, WA 98119
permits@seabornpiledriving.com

REVIEW RESPONSE

DATE: 5/31/2022

PROJECT NAME: AMIGA PIER

RESPONSE TO: SHL21-041 / SEP21-026 REQUEST FOR INFORMATION

To Andrew Leon,

This letter is in response to the corrections for SHL21-041/SEP21-026 permits. Below are our responses to the questions/comments from May 16th, 2022.

1. Please provide a project narrative that addresses how the proposal meets all applicable development standards in the MICC. The narrative should contain an itemized list of each code standard and how the project complies with the standard.

Please see Sheet A9.0 of updated plan set.

2. Please provide the following information on the pier elevations:

a. Please show all moorage piles on the pier elevation. Please also show the heights of the piles above the OHWM on the elevation.

Please see Sheet A5.0 of updated plan set.

b. Please confirm whether the existing moorage cover has open sides.

Yes, the existing moorage cover has open sides.

c. Please confirm whether the height of the pier above the OHWM will be changed. Please note that MICC 19.13.050(F)(2)(iii) states that the height of the pier above the OHWM may only be increased as provided in MICC 19.13.050(F)(2)(ix)(b).

The height of the pier will not be changed.

3. Please provide more information about the preservatives and treatments proposed to be applied to the overwater structure. Please also discuss how the standards of MICC 19.13.050(F)(2)(v) and (vi) are being met.

No preservatives or treatments will be applied to the overwater structure. Pile repair will be done with epoxy-coated steel, and existing piles are untreated wood.

4. MICC 19.13.050(F)(2)(ix) states that the structural repair, which may include replacement of framing elements (including but not limited to, stringers, piles, pile caps, and attachment brackets), of moorage facilities that results in the repair of more than 50% of the structure's framing elements within a 5-year period shall comply with the following requirements:



Seaborn Pile Driving
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Seattle, WA 98119

permits@seabornpiledriving.com

a. 100% of the decking area of the pier, dock, and any platform lifts must be fully grated with materials that allow a minimum of 40% light transmittance.

See page A4.0 of updated plan set. We do not meet the 50% repair threshold.

b. The height above the OHWM for moorage facilities, except floats, shall be a minimum of 1.5 feet and a maximum of 5 feet.

See page A4.0 of updated plan set. We do not meet the 50% repair threshold.

c. An existing moorage facility that is 5 feet wide or more within 30 feet waterward from the OHWM shall be replaced or repaired with a moorage facility that complies with the width of moorage facilities standards listed in MICC 19.13.050(D), Table D.

See page A4.0 of updated plan set. We do not meet the 50% repair threshold.

Please provide an accounting of all the framing elements, including, but not limited to, stringers, piles, pile caps, and attachment brackets, that are proposed to be repaired or replaced as a part of this proposal. Please also demonstrate that the total number of framing elements to be replaced does not exceed the 50% threshold of MICC 19.13.050(F)(2)(ix) is being exceeded. If the 50% threshold is being exceeded, please provide revised plans that show compliance with MICC 19.13.050(F)(2)(ix)(a) through (c).

See page A4.0 of updated plan set. We do not meet the 50% repair threshold.

5. Please confirm whether the any portion of the pier's decking is proposed to be removed. Any decking that is removed in the course of repair shall be replaced with decking materials that allow a minimum of 40% light transmittance under MICC 19.13.050(F)(2)(xi).

No decking will be removed or replaced within the scope of this project.

Thank you for your time,

Madison Johnson
Permit Technician
(206)-236-1700
www.seabornpiledriving.com

Ecological No Net Loss Assessment Report

Prepared for

Saltwater LLC

4421 Forest Ave SE

Mercer Island, WA 98040

Prepared by



Northwest Environmental Consulting, LLC

600 North 36th Street, Suite 423

Seattle, WA 98103

206-234-2520

October 2021

Purpose

The purpose of this report is to fulfill the requirements of City of Mercer Island Municipal Code (MICC) 19.07.110 Shoreline Master Program by assessing overall project impacts and proposed mitigation to determine if the project meets the “No Net Loss” General Regulation of the Shoreline Master Program.

No Net Loss is defined as “An ecological concept whereby conservation losses in one geographic or otherwise defined area are equaled by conservation gains in function in another area.”

Location

The subject property is located at 4421 Forest Ave SE (King County parcel number 548270-0185) in the City of Mercer Island, Washington (Sheet A1.0). The parcel is on the waterfront of Lake Washington, a shoreline of the state, that contains several endangered fish species listed under the Endangered Species Act and Washington State designated priority fish species. Permits are being applied for, for repair and modification of a residential moorage structure.

Project Description

The proposed project includes repair of 6 wood piles and installation of a new dual personal watercraft lift and boat lift. A wood mooring pile will be removed and existing personal watercraft lift removed. See Sheet A2.0 to A9.0

During construction, a floating boom will surround the work barge, pier, and lifts.

A shoreline vegetation plan is proposed, adding native trees and shrubs. These shoreline plantings will provide shade and allow leafy material to enter the lake along the shoreline (Sheet A7.0).

Project drawings are included in Attachment A.

Approach

Northwest Environmental Consulting LLC (NVEC) biologist Brad Thiele conducted a site visit on October 19, 2021, to evaluate conditions on site and adjacent to the site. NVEC also consulted the following sources for information on potential critical fish and wildlife habitat along this shoreline:

- Washington Department of Fish and Wildlife (WDFW): Priority Habitats and Species online database (<http://apps.wdfw.wa.gov/phsontheweb/>)
- WDFW SalmonScape online database of fish distribution and ESA listing units (<https://apps.wdfw.wa.gov/salmonscape/>)

- Mercer Island GIS online database (<https://chgis1.mercergov.org/Html5Viewer/Index.html?viewer=PubMaps&viewer=PubMaps>)

Site Description

The subject property is in a waterfront residential neighborhood. It has shoreline on its western boundary and single-family homes on all other sides.

The only existing structures on the property are the house, the existing dock. The shoreline is armored with a rock bulkhead with lawn and ornamental landscaping along the shoreline. A cove has been created in the bulkhead with steps down to the water. Vegetation includes laurel hedges and mature paper birch. Shrubs and ground covers include rhododendron and English ivy growing along and over the bulkhead.

The substrate of the lake is sand and cobble and appears to be a moderate to high wave energy area and aquatic vegetation is not present. The dock is decked with thruflow decking and is configured in a tee. A boatlift and personal watercraft lift are present.

Adjacent properties are similar with armored shorelines, docks and landscaping.

Species Use

WDFW's PHS mapping and SalmonScape mapping tools show the following salmonid species using Lake Washington for migration and/or rearing: residential coastal cutthroat (*Oncorhynchus clarkii*), winter steelhead (*O. mykiss*), Dolly Varden/bull trout (*Salvelinus malma*), sockeye salmon (*O. nerka*), fall Chinook (*O. tshawytscha*), coho salmon (*O. kisutch*), and kokanee (*O. nerka*). The SalmonScape database maps the site as accessible to threatened Ecologically Significant Units (ESUs) of Chinook and steelhead. Juveniles may rear in the waters near the project when traveling from spawning sites on other lake tributaries to the lake's outlet at the Locks. The project site is accessible to any fish migrating or rearing in the lake. Sockeye spawning is not mapped at the site, but is close by to the north and south.

The closest priority habitats are biodiversity corridors mapped approximately 3,000 feet to north but no other priority habitats are directly associated with the project site for terrestrial species.

Project Impacts and Conservation Measurements

Direct Impacts:

Sediments: Sediment disturbance may occur below the OHWM and along the shoreline of Lake Washington during pile repair and lift installation and removal. Additionally, the tug and barge propwash may disturb sediments temporarily when making trips to and from the site.

Pile stub repair using steel sleeves is minimally disturbing to bottom sediments. The piles will need to be cut off at the point where they lose integrity; that may be at or below the mudline. If the pile needs to be accessed below the mudline, the area surrounding the pile will be cleared by hand, not using a water jet. The chain saw designed for underwater use may generate fine wood debris (sawdust) in the water.

A floating boom with silt curtain will be used to surround the work area to contain floating debris.

The two new lifts will be placed in water over 8 feet deep so operationally, sediment disturbance from moored water craft at the site will be negligible.

Shoreline: Planting native vegetation will provide a lift to ecological functions of the shoreline by creating shade and vertical structure along the shoreline. These plants will provide overhanging cover for fish, structural diversity for birds and wildlife, detritus for aquatic invertebrates and long-term recruitment of woody material and other allochthonous food sources. The proposed planting plan is included (Sheet A7.0).

Lakebed: The water craft lift will enable partial shading of a small area of lakebed that is currently uncovered. Jet skis in the lift will not completely occlude the bottom; they will cast a shadow that will move throughout the day. The new personal watercraft lifts will be placed in the deepest water possible.

Noise: Construction equipment will create noise audible to neighbors and in-water. Noise disturbance will be short-term and should have negligible effects on fish and wildlife in the area. The loudest equipment will be the underwater chain saw, which will not reach the behavioral disturbance threshold for salmonids. Work will be completed during the in-water work window when juvenile fish are not expected to be present. Removal of the mooring pile may require use of a vibratory hammer, the noise will be short in duration and not expected to cause harm to fish.

Potential spills: Short-term risks include the potential for petroleum spills that can occur with any equipment operation. The level of impact to the aquatic environment is expected to be minor because of the small amount of petroleum products available for spillage during typical construction activities, and because of spill containment measures that will be employed should a spill occur.

Indirect Impacts:

Shading: The moorage lifts will not fully shade the bottom; when water craft are parked in the lift, they will cast a shadow that moves throughout the day, but they will not fully block light from reaching the lake bottom and cover a small surface area.

Recreational Boating: The project supports continued recreational boating, which has been identified as a limiting factor for salmonid populations in Lake Washington. The project will not introduce additional boating to Lake Washington, as the owners could still access the lake from a public boat launch or private moorage facility.

Other Conservation measures:

Work window: The work will be completed during the prescribed in-water work window for this area of Lake Washington (July 16 to April 30). Operating within this time frame helps protect Chinook salmon, steelhead, bull trout and other salmonid fish species by doing work when juvenile fish are not expected to be present.

Best Management Practices: Applicable BMPs will be used, such as a floating boom around the in-water work area, to contain any floating debris that may escape during construction. The barge will have a perimeter containment sock to absorb oil and grease that might inadvertently wash from the barge during construction.

Hazardous material containment materials such as spill absorbent pads and trained personnel will be required onsite during any phase of construction where machinery is in operation near surface waters.

Conclusion

Juvenile Chinook salmon, and other salmonids, rear and migrate along the Lake Washington shoreline.

There will be impacts from noise and disturbed sediments during pile repair activities, but these impacts will be temporary and negligible, and not reach the behavioral disturbance threshold for salmonids. The pier's overwater coverage will not be increased. The water craft lifts will add some bottom shading, but not fully occlude sunlight from reaching the bottom.

A shoreline planting plan will be implemented that adds a western red cedars and shorepine, one Nootka rose, and two mock oranges along the shoreline (Sheet A7.0). Planting native vegetation, especially trees, will improve the shoreline conditions in the long term by adding overhanging vegetation and be a source of woody recruitment into the lake.

The project will minimize construction effects on the aquatic environment by following the prescribed fish window and using applicable BMPs to prevent construction spills and debris from entering Lake Washington and allow for quick clean up if debris enters the lake or a spill occurs.

This project has been designed to meet current residential dock standards and will use Best Management Practices to reduce project impacts. The conservation measures are designed to improve ecological functions or prevent further degradation of habitat **and will result in No Net Loss of ecological functions** at the site.

Document Preparers

Brad Thiele Biologist (Reviewer) 27 years of experience NWEC

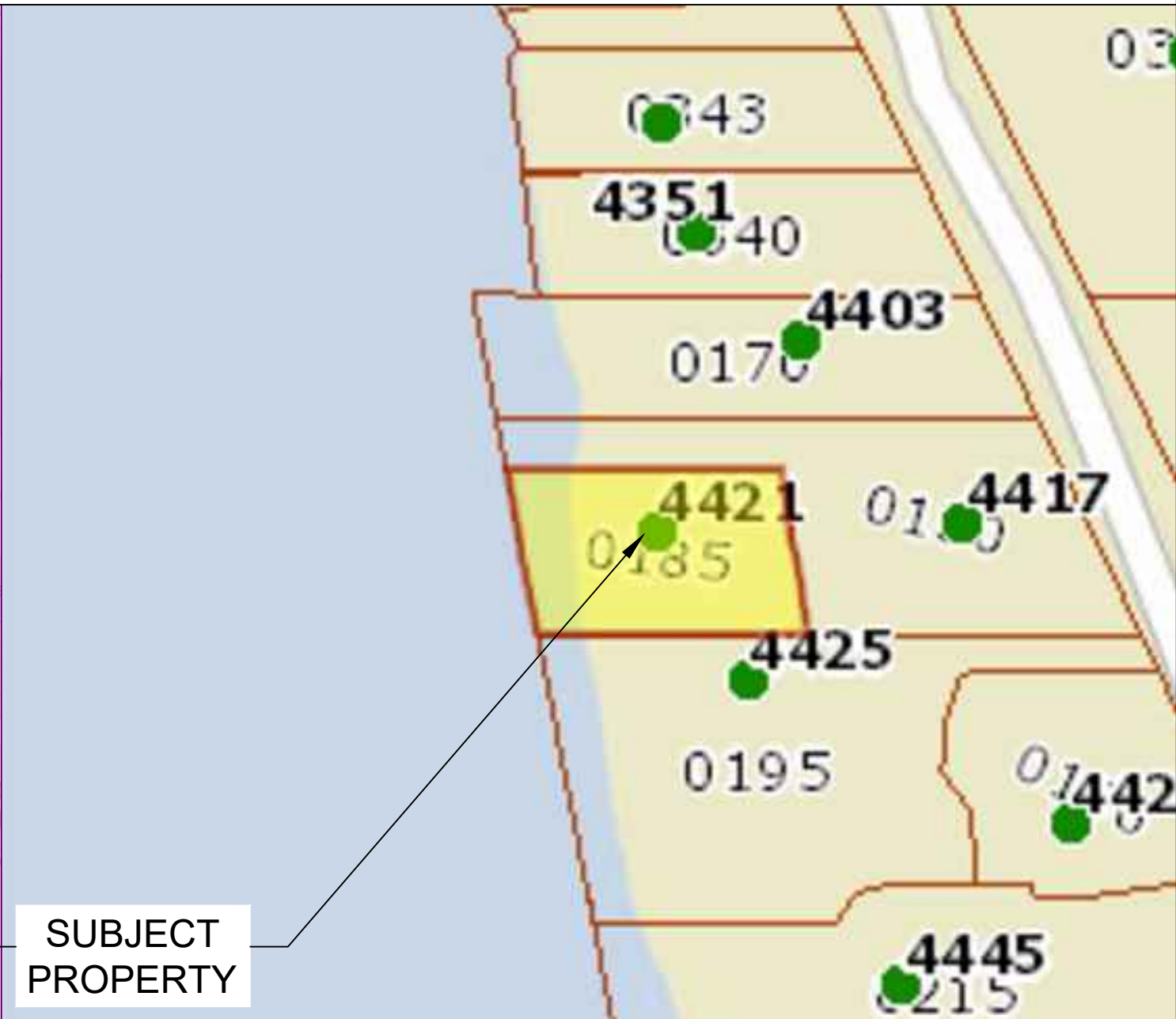
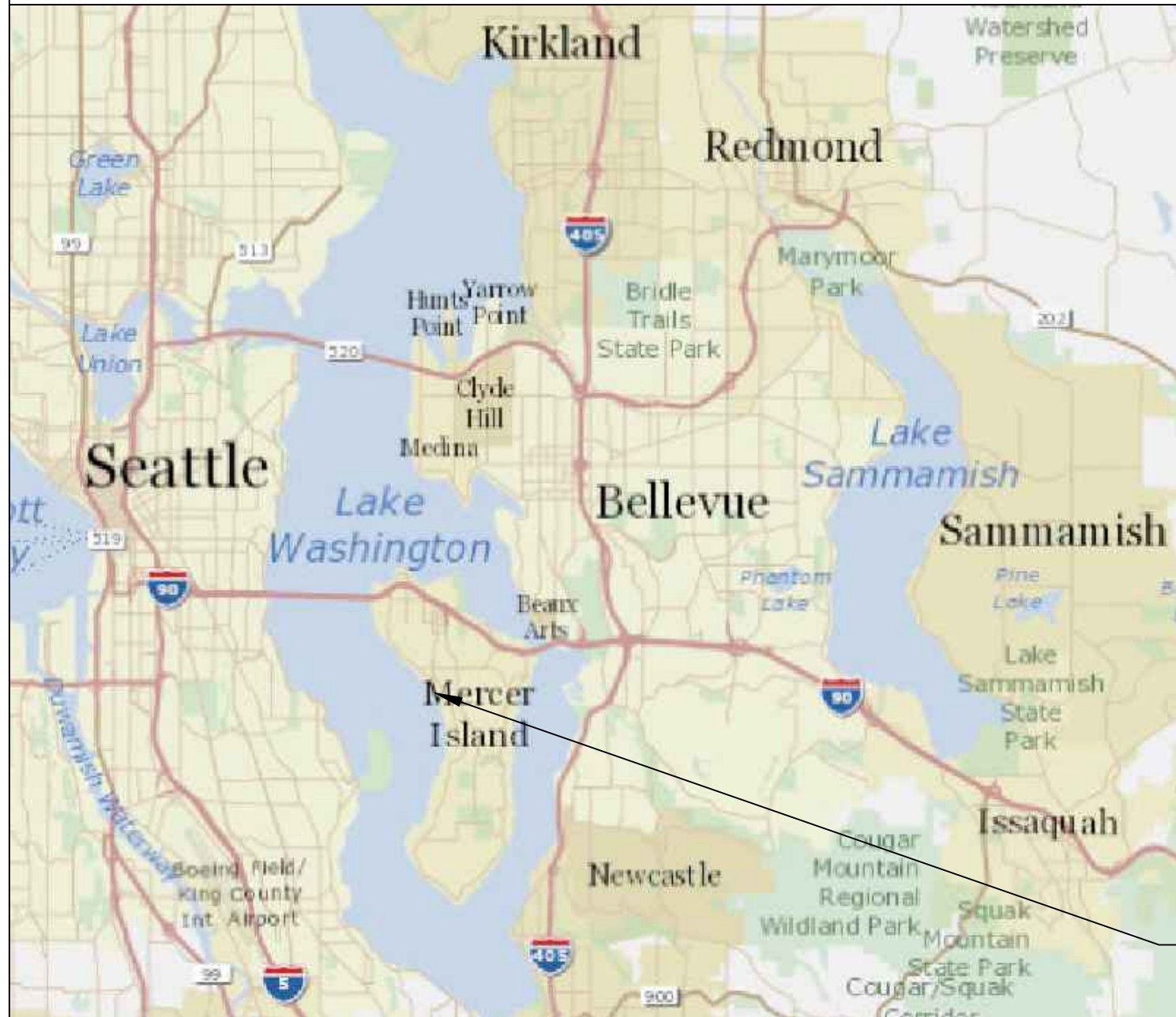
NWEC followed standard acceptable field methods and protocols at the time work was performed. These standards include delineation of wetland and stream boundaries, characterization, rating, functional analyses, impact assessments and mitigation of impacts. The conclusions and findings in this report are based on field observations and measurements and represent our best professional judgment and to some extent rely on other professional service firms and available site information. Within the limitations of project scope, budget, and seasonal variations, we believe the information provided herein is accurate and true to the best of our knowledge. Northwest Environmental Consulting does not warrant any assumptions or conclusions not expressly made in this report or based on information or analyses other than what is included herein.

REFERENCES

- City of Mercer Island. 2021. Mercer Island GIS. Online database. Accessed July 2021 at <https://chgis1.mercergov.org/Html5Viewer/Index.html?viewer=PubMaps&viewer=PubMaps>
- Washington Department of Fish and Wildlife (WDFW). 2021. Priority Habitats and Species. Online database. Accessed July 2021 at <http://apps.wdfw.wa.gov/phsontheweb/>
- WDFW. 2021. SalmonScape. Online database. Accessed July 2021 at <http://apps.wdfw.wa.gov/salmonscape/>

Attachment A: Project Drawings

SITE PLAN

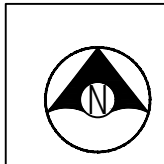


Pin: 548270-0185

Legal Description: MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ

Plat Block:
Plat Lot: 38-39

LAT: 47.56694 LONG: -122.23289



Seaborn Pile Driving
1080 W Ewing St
Seattle, WA 98119

Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

County: King County
Location: Lake Washington

Applicant: Saltwater LLC
4421 Forest Ave SE
Mercer Island, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 13, Township 24, Range 04

Adjacent Owners:
4425 FOREST LLC
4425 FOREST AVE SE 98040

SHEET
A1.0

NWS-2021-XXX
PAGE 1 OF 9

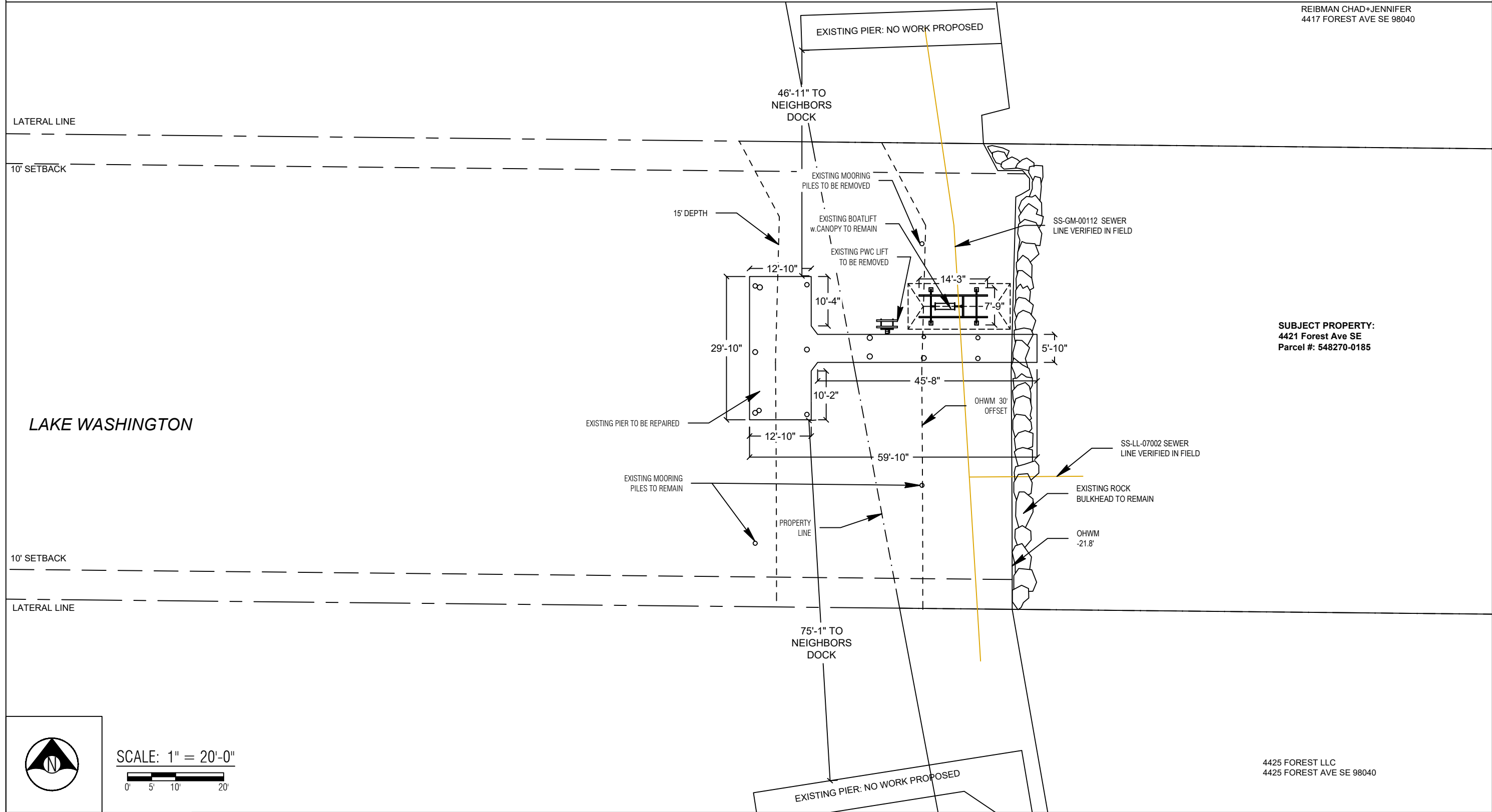
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Created: 05-18-2021

REBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

EXISTING CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



REIBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

SUBJECT PROPERTY:
4421 Forest Ave SE
Parcel #: 548270-0185

4425 FOREST LLC
4425 FOREST AVE SE 98040

LATERAL LINE

10' SETBACK

10' SETBACK

LATERAL LINE

LAKE WASHINGTON



SCALE: 1" = 20'-0"
0 5 10 20'



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Scope of Work: We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

County: King County
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4421 Forest Ave SE
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Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 13, Township 24, Range 04
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4425 FOREST LLC
4425 FOREST AVE SE 98040
REIBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

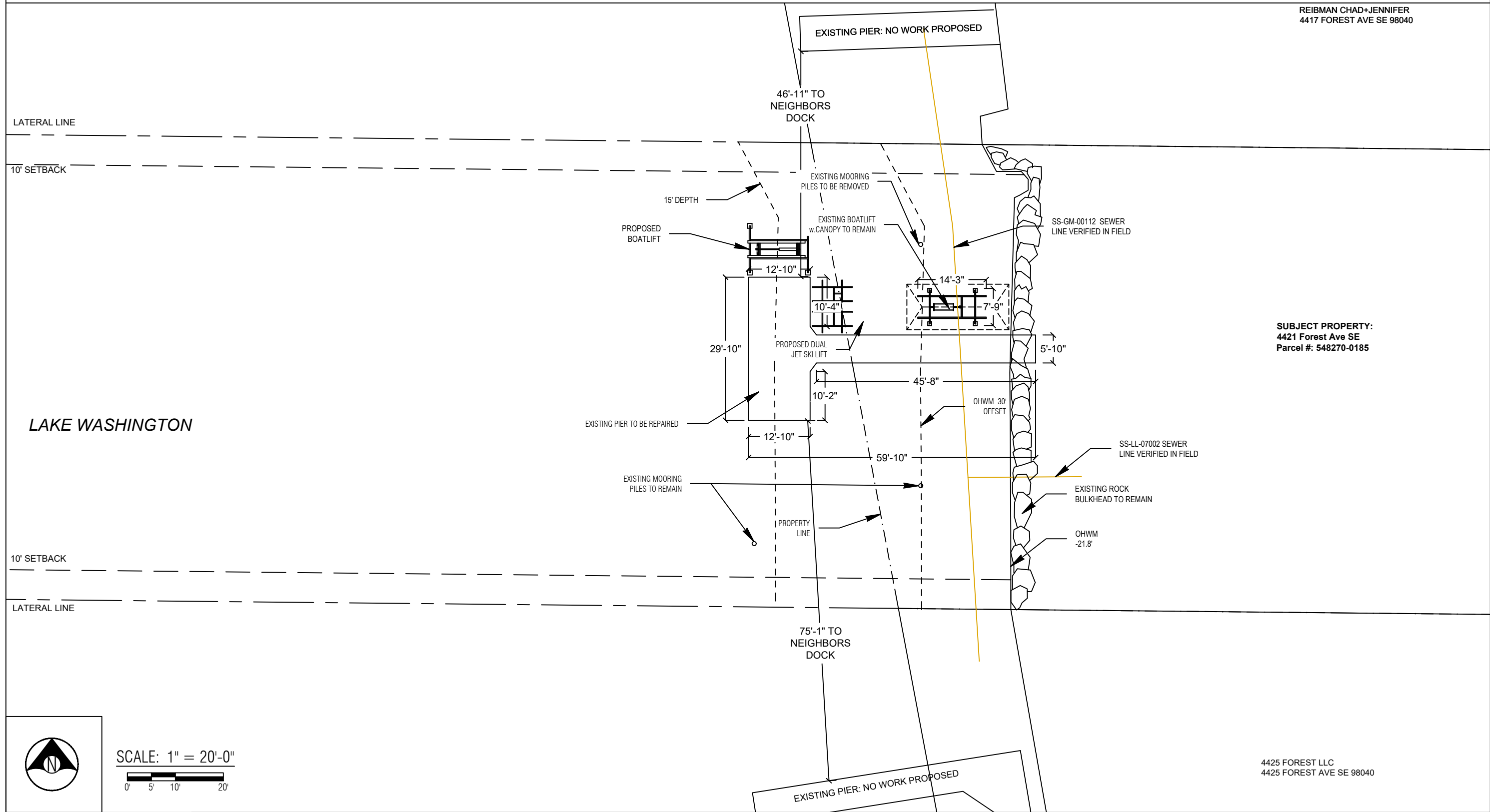
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PAGE 2 OF 9

Last Updated: 9/22/2021 9:28 AM Dray

Created: 05-18-2021

PROPOSED CONDITIONS

****CLEAN UP LAKE AROUND PROJECT****



REIBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

SUBJECT PROPERTY:
4421 Forest Ave SE
Parcel #: 548270-0185

4425 FOREST LLC
4425 FOREST AVE SE 98040

LATERAL LINE

10' SETBACK

LAKE WASHINGTON

10' SETBACK

LATERAL LINE



SCALE: 1" = 20'-0"
0 5 10 20'



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County: King County
Location: Lake Washington

Applicant: Saltwater LLC
4421 Forest Ave SE
Mercer Island, WA 98040

Datum: CORPS OF ENGINEERS 1919
SE Quarter Of Section 13, Township 24, Range 04
Adjacent Owners:
REIBMAN CHAD+JENNIFER
4417 FOREST AVE SE 98040

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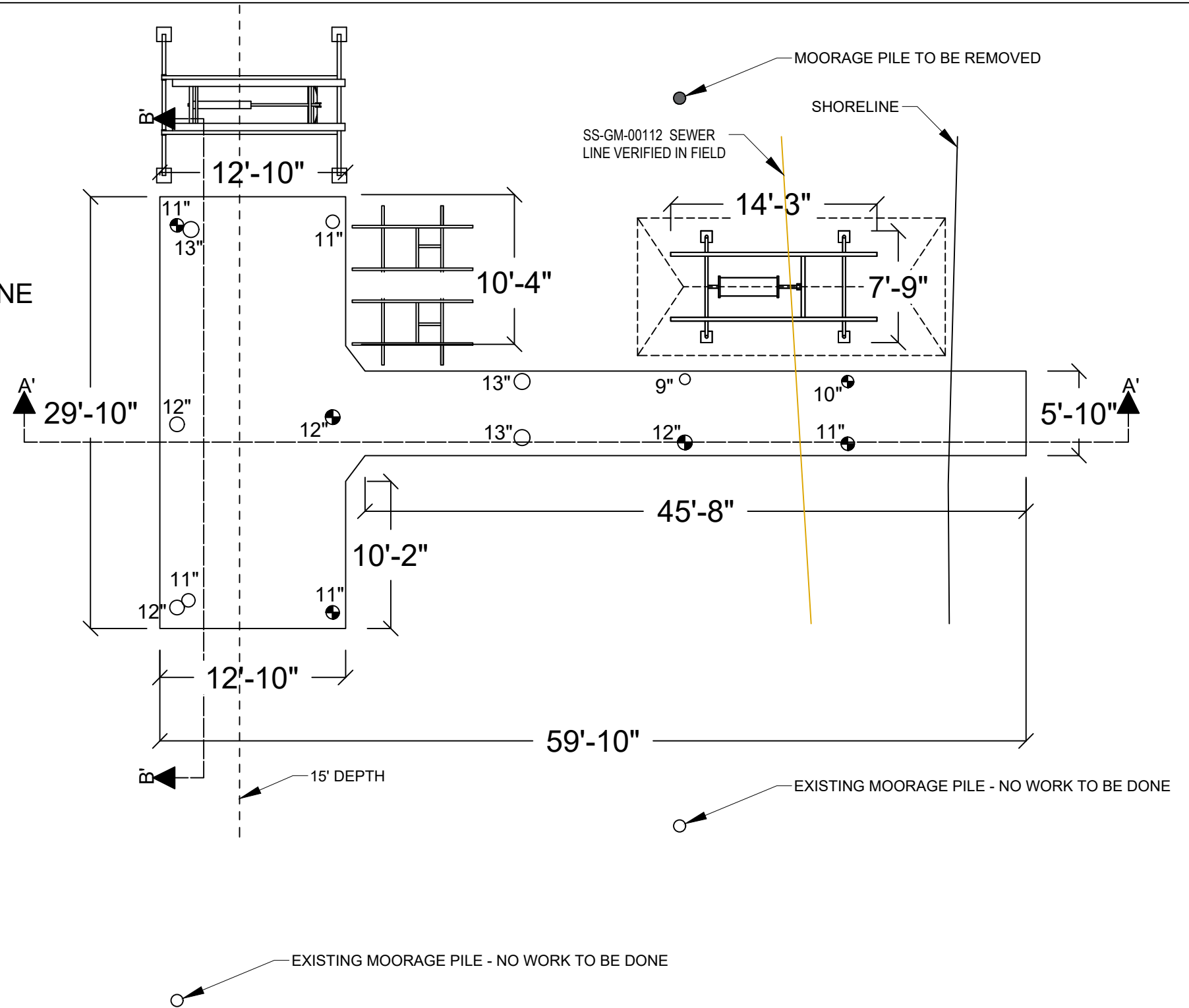
Created: 05-18-2021

PIER DETAILS - EXISTING/PROPOSED

LEGEND

- (6) EXISTING PILES - TO BE REPAIRED
- (8) EXISTING PILES - NO WORK TO BE DONE
- (1) EXISTING MOORING PILE - TO BE REMOVED
- (2) EXISTING MOORING PILE - NO WORK TO BE DONE

Area: 650 sqft (total - no work to be done)



PLAN VIEW



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1080 W Ewing St
Seattle, WA 98119

Office: 206-236-1700 ext. 3
www.seabornpiledriving.com

Scope of Work: We propose to repair (6) piles, remove (1) moorage pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

County: King County
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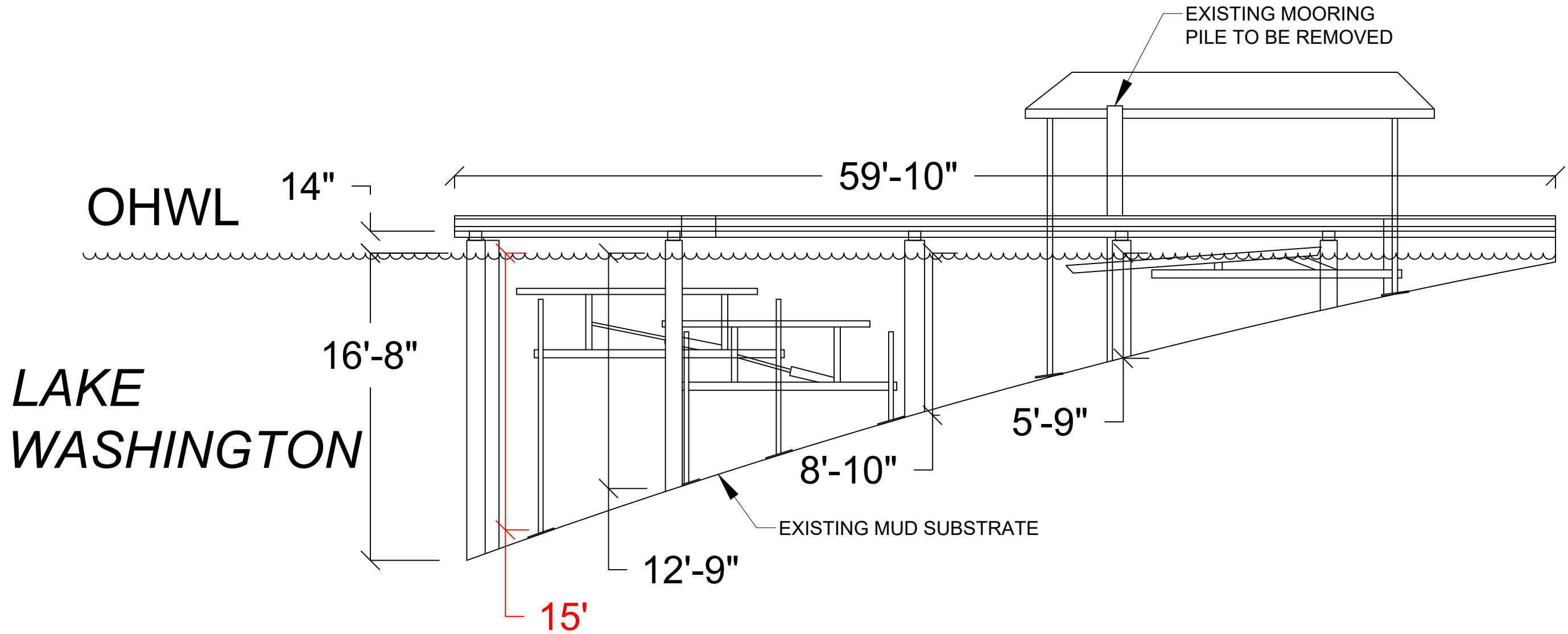
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PIER DETAILS EXISTING/PROPOSED



**LAKE
WASHINGTON**

SECTION VIEW: A'-A'



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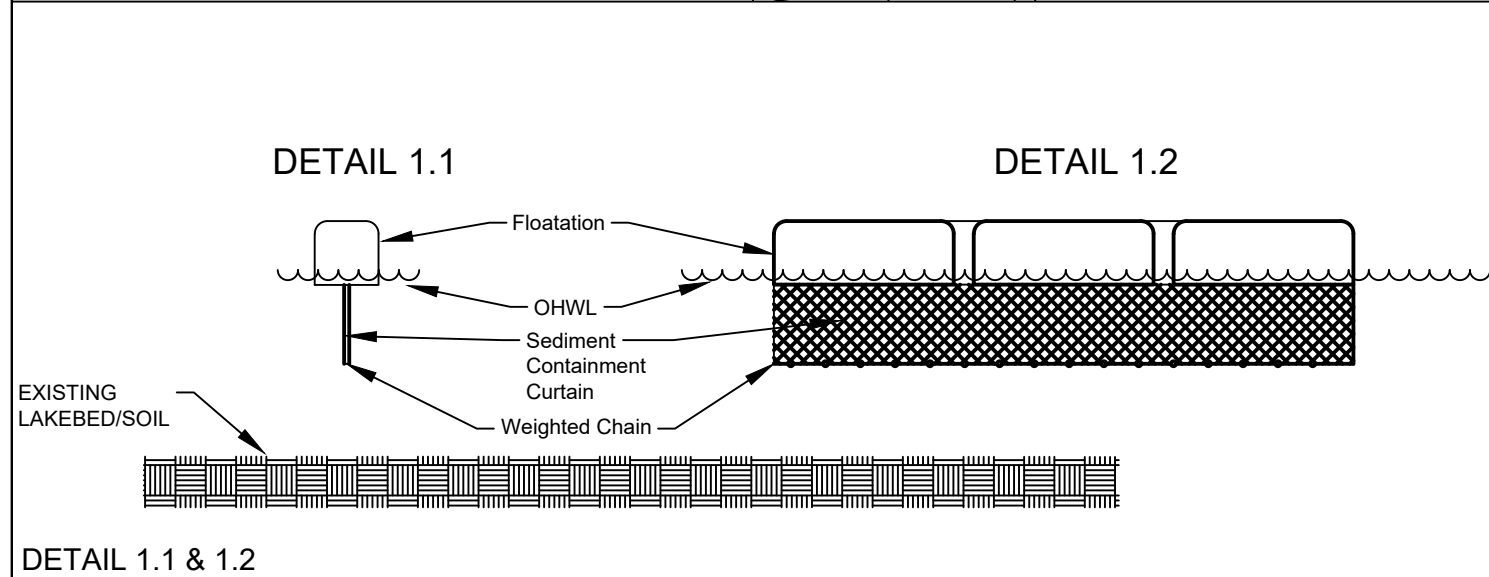
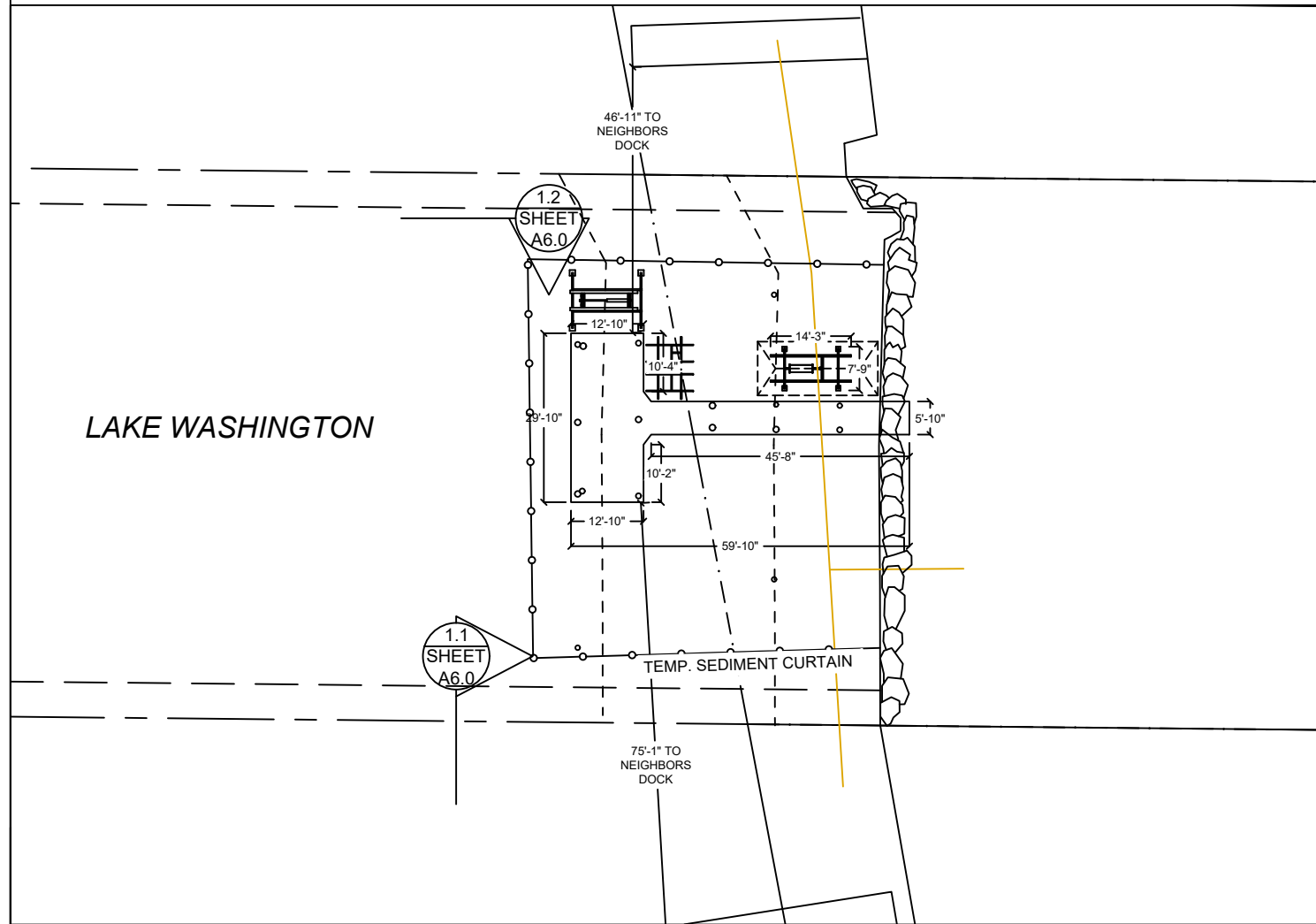
Adjacent Owners:
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BMP INFORMATION



BMP NOTES:

- A. Constant vigilance shall be kept for the presence of protected fish species during all aspects of the proposed action, particularly during in-water activities such as vessel movement, deployment of anchors & spuds, pile driving, dredging, and placement of gravels and other fill.
 1. The project manager shall designate an appropriate number of competent observers to survey the project site and adjacent areas for protected species, including the presence of fish as conditions allow.
 2. Visual surveys shall be made prior to the start of work each day, and prior to resumption of work following any break of more than an hour. Periodic additional visual surveys throughout the work day are strongly recommended.
 3. All in-water work shall be done during the in-water work window for the waterbody. Where there is a difference between the USCOE and WDFW work windows, the overlap of the two shall apply.
 4. All pile driving and extraction shall be postponed or halted when obvious aggregations or schooling of fish are observed within 50 yards of that work, and shall only begin/resume after the animals have voluntarily departed the area.
 5. When piloting vessels, vessel operators shall operate at speeds and power settings to avoid grounding vessels, and minimize substrate scour and mobilization of bottom sediments.
- B. No contamination of the marine environment shall result from project-related activities.
 1. Appropriate materials to contain and clean potential spills shall be stored and readily available at the work site and/or aboard project-related vessels.
 2. The project manager and heavy equipment operators shall perform daily pre-work equipment inspections for cleanliness and leaks. All heavy equipment operations shall be postponed or halted should a leak be detected, and shall not proceed until the leak is repaired and the equipment is cleaned.
 3. To the greatest extent practicable, utilize biodegradable oils for equipment that would be operated in or near water.
 4. Fueling of land-based vehicles and equipment shall take place at least 50 feet away from the water, preferably over an impervious surface. Fueling of vessels shall be done at approved fueling facilities.
 5. Turbidity and siltation from project-related work shall be minimized and contained through the appropriate use of erosion control practices, effective silt containment devices, and the curtailment of work during adverse weather and tidal/flow conditions.
 6. All wastes shall be collected and contained for proper disposal at approved upland disposal sites appropriate for the material(s).
 7. When removing piles and other similarly treated wood, containment booms must fully enclose the work area. Wood debris, oils, and any other materials released into lake waters must be collected, removed, and properly disposed of at approved disposal sites.
 8. All in- and over-water wood cutting would be limited to the minimum required to remove the subject wood component, and all cutting work should be enclosed within floating containment booms.
 9. When removing piles, no actions shall be taken that would cause adhering sediments to return to lake waters.
 10. Above-water containment shall be installed around removed piles to prevent sediment laden waters from returning to lake waters.
 11. Construction staging (including stocking of materials, etc.) will occur on the supply barge.
 12. All Exposed wood to be used on the project will be treated with a cheminite treatment.



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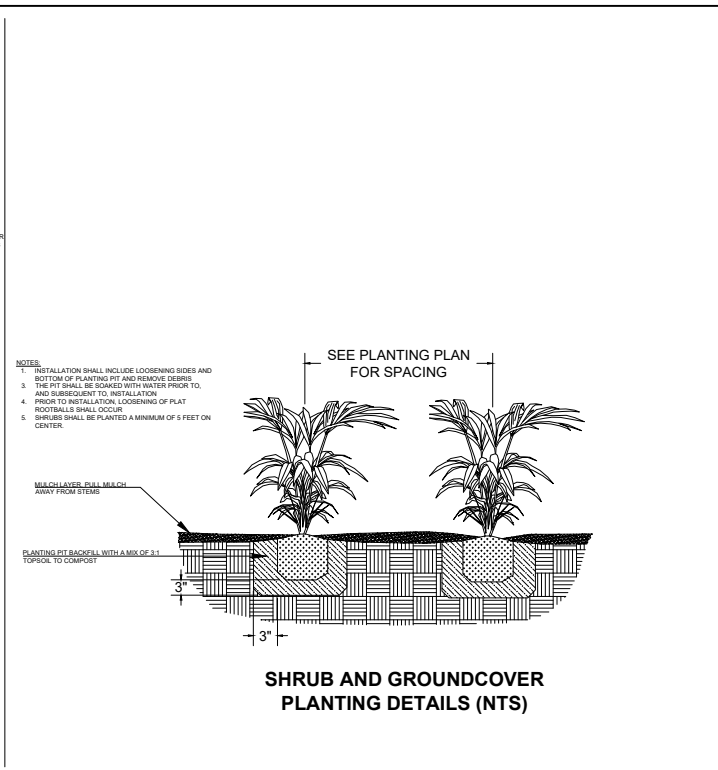
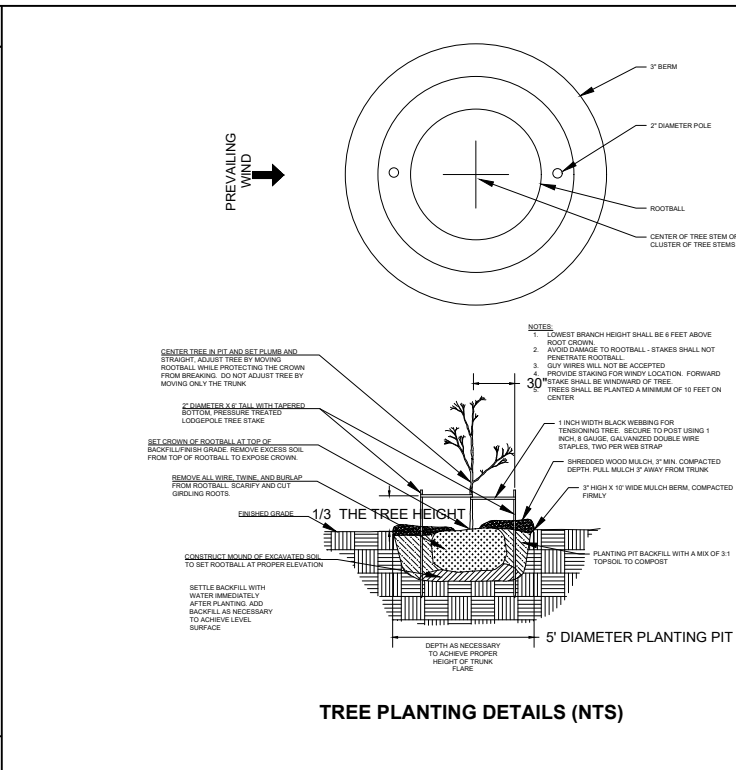
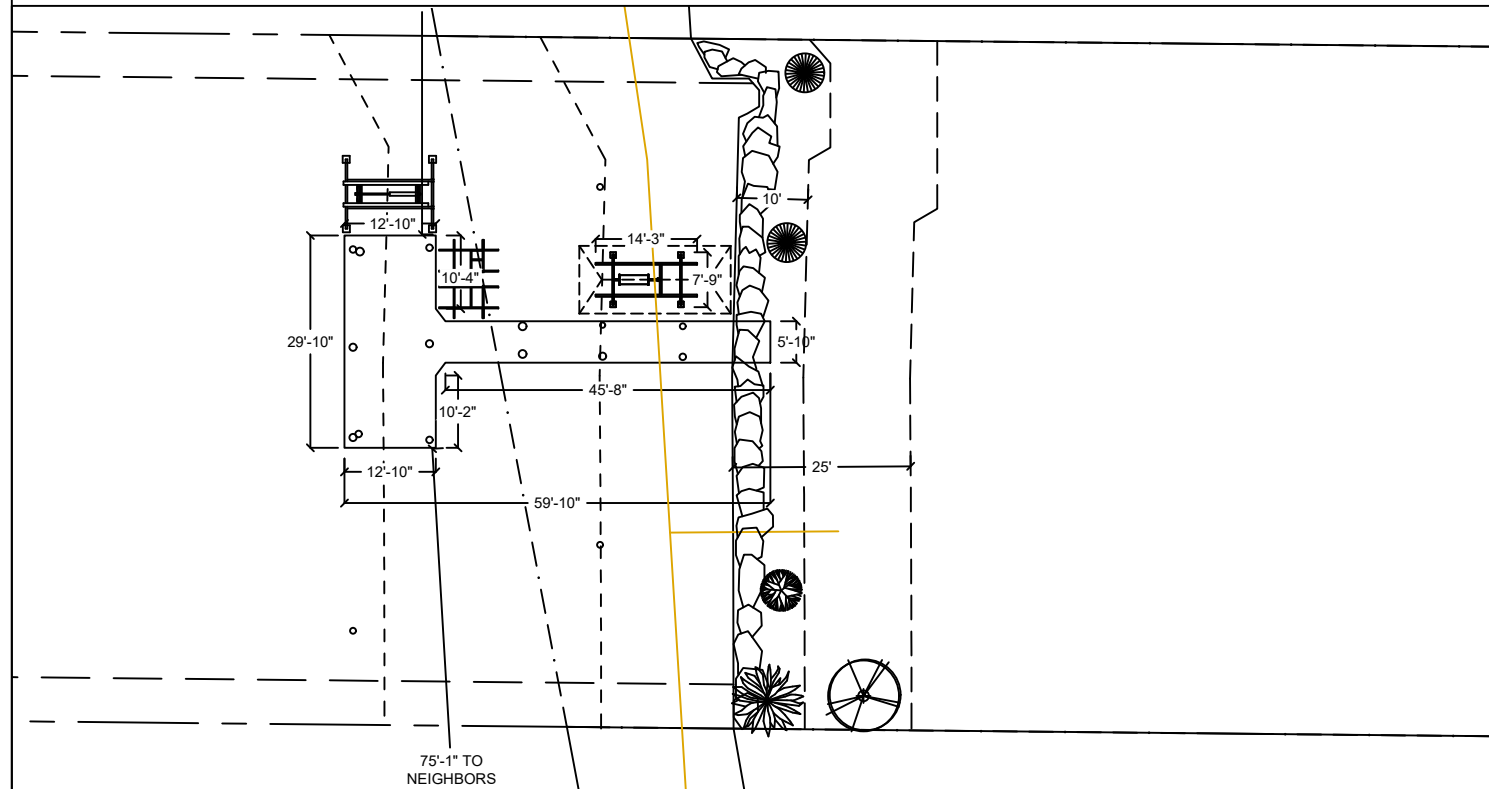
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MITIGATION PLAN



- Notes:**
1. Shrubs are show, and shall be planted, at least five feet on center. Trees are show, and shall be planted, at least ten feet to center.
 2. The property owner will implement and abide by the shoreline planting plan. The plants shall be installed before or concurrent with the work authorized by this permit. A report, as-built drawing and photographs demonstrating the plants have been installed or a report on the status of project construction will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of permit issuance. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Report for Mitigation Work Completion form.
 3. The property owner will maintain and monitor the survival of installed shoreline plantings for five years after the U.S. Army Corps of Engineers accepts the as-built report. Installed plants shall achieve 100% survival during monitoring Years 1 and 2. Installed plants shall achieve at least 80% survival during monitoring Years 3, 4 and 5. Percent survival is based on the total number of plants installed in accordance with the approved riparian planting plan. Individual plants that die will be replaced with native riparian species in order to meet the survival performance standards.
 4. The property owner will provide annual monitoring reports for five years (Monitoring Years 1-5). Each annual monitoring report will include written and photographic documentation on plant mortality and replanting efforts and will document whether the performance standards are being met. Photos will be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation will include a panoramic view of the entire planting area. Submitted photos will be formatted on standard 8 1/2 x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points will be identified on an appropriate drawing. Annual shoreline planting monitoring reports will be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 31 of each monitoring year. This reporting requirement may be met by completing and submitting a U.S. Army Corps of Engineers approved Mitigation Planting Monitoring Report form.

PROPOSED PLANTING SPECIES/QUANTITIES

SYMBOL	LATIN NAME	COMMON NAME	QTY	SIZE
	<i>Thuja picatta</i>	Western Redcedar	1	3 ft
	<i>Pinus contorta v contorta</i>	Shore pine	1	3 ft
	<i>Rosa nutkana</i>	Nootka Rose	1	1 Gallon
	<i>Philadelphus lewisii</i>	Mock Orange	2	1 Gallon

PLANTS: Shrubs to be installed 5ft on center and trees to be installed 10ft on center.

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GENERAL NOTES:

MATERIALS SPEC LIST:

Boat Lifts:

- * SL10014ARW - 159" x 93"
- * SL2008AR2D2 - 104" x 132" (dual jet sk)

Sunwalk Decking Material: FRPP - Fiberglass reinforced polypropylene

Light permeable percentage:

- * Surface - 43%
- * 18" Dock Height - 61%

PILES:

- * All new piles are epoxy coated piles *size varies, see plan set

SEWER:

- * All sewer is field verified by probing the lake bed manually during the allowed work windows for the area.

CODE REFERENCES: Mercer Island

We are applying for the permit to be reviewed under the:

“Alternative Development Standards” per MIMC 19.13050(F)(3).

The code official shall approve moorage facilities not in compliance with the development standards in subsection (F)(1) or (F)(2) of this section subject to both U.S. Army Corps of Engineers and Washington Department of Fish and Wildlife approval to an alternate project design. The following requirements and all other applicable provisions in this chapter shall be met:

i. The dock must be no larger than authorized through state and federal approval; Ch. 19.13 Shoreline Master Program | Mercer Island City Code Page 30 of 34 The Mercer Island City Code is current through Ordinance 20C-13, passed June 16, 2020.

- Project in review

ii. The maximum width must comply with the width of moorage facilities standards specified in standards specified in subsection D of this section (Table D);

- Dock construction falls under (F)(2), (F)(3) only deals with the boat lift and there is no walkway associated with that.

iii. The minimum water depth must be no shallower than authorized through state and federal approval;

- Project in review

iv. The applicant must demonstrate to the code official's satisfaction that the proposed project will not create a net loss in ecological function of the shorelands; and

- NNL report included with the submittal

v. The applicant must provide the city with documentation of approval of the moorage facilities by both the U.S. Army Corps of Engineers and the Washington Department of Fish and Wildlife.

- Project in review

Mitigation" Disturbance of bank vegetation shall be limited to the minimum amount necessary to accomplish the project. Disturbed bank vegetation shall be replaced with native, locally adapted herbaceous and/or woody vegetation. Herbaceous plantings shall occur within 48 hours of the completion of construction. Woody vegetation components shall be planted in the fall or early winter, whichever occurs first. The applicant shall take appropriate measures to ensure revegetation success;

Last permit issued for property: 1112-086

Dock established/constructed: 12/15/2011



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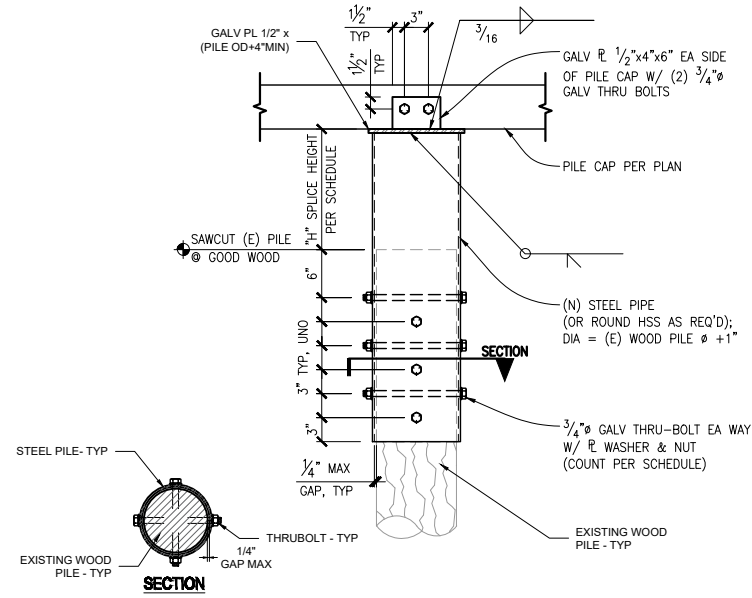
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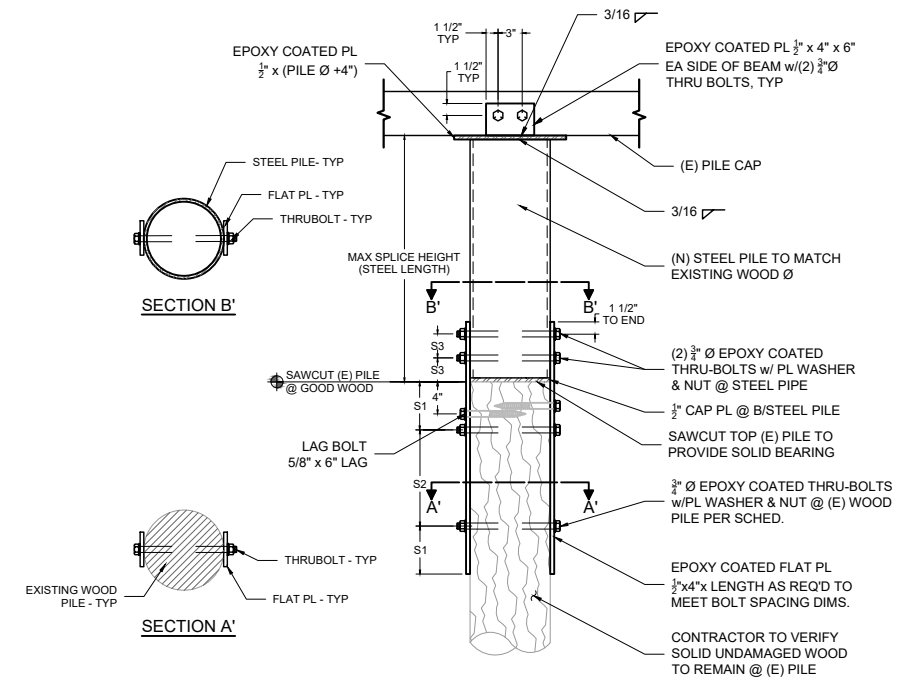
DETAILS - REPAIR



S SLEEVE PILE REPAIR - TYP
SCALE: 1/2" - 1"

S DETAIL NOT IN USE
SCALE: 1/2" - 1"

S DETAIL NOT IN USE
SCALE: 1" - 1"



S DETAIL NOT IN USE
SCALE: 1" - 1"

S SPLICE PILE REPAIR - TYP
SCALE: 1/2" - 1"



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Attachment B: Site Photographs



Photo 1 - Pier looking water ward.



Photo 2 - Pier looking landward.



Photo 3 - Shoreline conditions looking south.



Photo 4 - Shoreline conditions looking north.



Photo 5 - Shoreline conditions south of property.



Photo 6 - Shoreline conditions north of property.

CITY OF MERCER ISLAND
COMMUNITY PLANNING & DEVELOPMENT

9611 SE 36TH STREET | MERCER ISLAND, WA 98040
 PHONE: 206.275.7605 | www.mercergov.org



CITY USE ONLY	
Date Received	
File No	
Received By	

ENVIRONMENTAL CHECKLIST

PURPOSE OF CHECKLIST

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

PRE-APPLICATION MEETING

A pre-application meeting is used to determine whether a land use project is ready for review, to review the land use application process, and to provide an opportunity for initial feedback on a proposed application. Some land use applications require a pre-application – in particular: short and long subdivisions, lot line revisions, shoreline permits, variances, and critical area determinations. The City strongly recommends that all land use applications use the pre-application process to allow for feedback by City staff.

Please note: pre-application meetings are held on Tuesdays, by appointment. To schedule a meeting, submit the meeting request form and the pre-application meeting fee (see fee schedule). Meetings must be scheduled at least one week in advance. Applicants are required to upload a project narrative, a list of questions/discussion points, and preliminary plans to the Mercer Island File Transfer Site one week ahead of the scheduled meeting date.

SUBMITTAL REQUIREMENTS

In addition to the items listed below, the code official may require the submission of any documentation reasonably necessary for review and approval of the land use application. An applicant for a land use approval and/or development proposal shall demonstrate that the proposed development complies with the applicable regulations and decision criteria.

- A. **Completed pre-application.**
- B. **Development Application Sheet.** Application form must be fully filled out and signed.
- C. **Development Plan Set.** Please refer to the Land Use Application- Plan Set Guide in preparing plans.
- D. **Title Report.** Less than 30 days old.
- E. **SEPA checklist.**

INSTRUCTIONS FOR APPLICANTS

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later. Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you. The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

USE OF CHECKLIST FOR NONPROJECT PROPOSALS

For nonproject proposals complete this checklist and the supplemental sheet for nonproject actions (Part D). The lead agency may exclude any question for the environmental elements (Part B) which they determine do not contribute meaningfully to the analysis of the proposal. For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

A. BACKGROUND

- 1. Name of proposed project, if applicable:

Saltwater LLC

- 2. Name of applicant:

Zoe Rohaly

- 3. Address and phone number of applicant and contact person:

1080 W Ewing St. Bldg B Seattle, WA 98119

(206) 236-1700

- 4. Date checklist prepared:

9-15-2021

- 5. Agency requesting checklist:

City of Mercer Island

- 6. Proposed timing or schedule (including phasing, if applicable):

Upon Receipt of all applicable permits and open work window

7. Do you have any plans for future additions, expansions, or further activity related to or connected with this proposal? If yes, explain:

None

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal:

No Net Loss of Ecological Function Report

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain:

Unknown

10. List any government approvals or permits that will be needed for your proposal, if known:

City of Mercer Island Shoreline Substantial Development permit w/SEPA Review, City of Mercer Island Building Permit, US Army CORPS of Engineering Federal permits, and the WA. State dep. of Fish and Wildlife Hydraulic Project Approval.

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

Pin: 548270-0185

Legal Description: MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ

Plat Block:

Plat Lot: 38-39

LAT: 47.56694

LONG: -122.23289

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site (check one):

Flat Rolling Hilly Steep slopes Mountainous Other

b. What is the steepest slope on the site (approximate percent slope)?

34 %

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any agricultural land of long-term commercial significance and whether the proposal results in removing any of these soils.

Sand and gravel

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe.

No

e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. Indicate source of fill.

None

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe.

No

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)?

None

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any:

N/A

2. Air

-
- a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, and industrial wood smoke) during construction, operation, and maintenance when the project is completed? If any, generally describe and give approximate quantities if known.

Exhaust smoke from construction equipment

- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe.

No

- c. Proposed measures to reduce or control emissions or other impacts to air, if any:

Run equipment only as needed

3. Water

- a. Surface:

- i. Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into.

The site is adjacent to Lake Washington

- ii. Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans.

We propose to repair (6) piles, remove (1) mooring pile, remove a PWC lift, install a boat lift, and install a dual jet ski lift.

- iii. Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material.

None

- iv. Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known.

No

- v. Does the proposal lie within a 100-year floodplain? If so, note location on the site plan.

No

- vi. Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge.

No

b. Ground

- i. Will groundwater be withdrawn from a well for drinking water or other purposes? If so, give a general description of the well, proposed uses and approximate quantities withdrawn from the well? Will water be discharged to groundwater? Give general description, purpose, and approximate quantities if known.

No

- ii. Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, [containing the following chemicals...]; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve.

None

c. Water runoff (including stormwater):

- i. Describe the source of runoff (including stormwater) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe.

N/A

- ii. Could waste materials enter ground or surface waters? If so, generally describe.

N/A

- d. Proposed measures to reduce or control surface, ground, runoff water, and drainage pattern impacts, if any:

N/A

4. Plants

- a. Check types of vegetation found on the site
- Deciduous tree: Alder, Maple, Aspen, other
 - Evergreen tree: Fir, Cedar, Pine, other
 - Shrubs
 - Grass

- Pasture
- Crop or grain
- Wet soil plants: Cattail, buttercup, bulrush, skunk cabbage, other
- Water plants: Water lily, eelgrass, milfoil, other
- Other types of vegetation

b. What kind and amount of vegetation will be removed or altered?

N/A

c. List threatened or endangered species known to be on or near the site.

No known threatened or endangered plant species are on or near the site

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any:

Please see associated native planting and vegetation plan

e. List all noxious weeds and invasive species known to be on or near the site.

None present along the shoreline adjacent to the work site

5. Animals

a. State any birds and animals which have been observed on or near the site or are known to be on or near the site. Examples include:

Birds: hawk, heron, eagle, songbirds, other:

Mammals: deer, bear, elk, beaver, other:

Fish: bass, salmon, trout, herring, shellfish, other:

Eagle - Songbird

Potential for Steelhead Salmon, Bullhead Trout, and Chinook Salmon to be in the adjacent waters of Lake Washington.

b. List any threatened or endangered species known to be on or near the site.

Potential for Steelhead salmon, bull trout and Chinook salmon to be in the adjacent waters in Lake Washington

c. Is the site part of a migration route? If so, explain.

Unknown

d. Proposed measure to preserve or enhance wildlife, if any:

Mitigation a native shoreline vegetation plan, and construction activities during approved fish friendly work windows.

e. List any invasive animal species known to be on or near the site.

Unknown

6. Energy and natural resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc.

None

b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe.

No

c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any:

N/A

7. Environmental health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste that could occur as a result of this proposal? If so, describe.

No

i. Describe any known or possible contamination at the site from present or past uses.

Unknown

ii. Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity.

None

iii. Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project.

None

iv. Describe special emergency services that might be required.

None

v. Proposed measures to reduce or control environmental health hazards, if any:

N/A

b. Noise

i. What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)?

None

ii. What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)?
Indicate what hours noise would come from the site.

Noise from construction equipment

iii. Proposed measures to reduce or control noise impacts, if any:

Operate machinery only as required

8. Land and shoreline use

a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? If so, describe.

Single Family Residence

b. Has the project site been used as working farmlands or working forest lands? If so, describe. How much agricultural or forest land of long-term commercial significance will be converted to other uses as a result of the proposal, if any? If resource lands have not been designated, how many acres in farmland or forest land tax status will be converted to nonfarm or nonforest use?

No

c. Describe any structures on the site.

Single Family Residence

d. Will any structures be demolished? If so, what?

No

e. What is the current zoning classification of the site?

R-15

f. What is the current comprehensive plan designation of the site?

Urban Residential

g. If applicable, what is the current shoreline master program designation of the site?

Urban Residential Environment

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify.

No

i. Approximately how many people would reside or work in the completed project?

None

j. Approximately how many people would the completed project displace?

None

k. Proposed measures to avoid or reduce displacement impacts, if any:

N/A

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any:

To ensure local, state and federal compliance, the project will include a shoreline substantial Development permit and SEPA review by the city of Mercer Island. a HPA (Hydraulic Project Approval) permit from Washington State Department of Fish and Wildlife and federal section 10 (work in navigable waters) permit from the US Army CORPS if Engineers.

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing.

None

- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing.

None

- c. Proposed measures to reduce or control housing impacts, if any:

N/A

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas? What is the principal exterior material(s) proposed?

Less than 60" above OHWL

- b. What views in the immediate vicinity would be altered or obstructed?

None

- c. Proposed measures to reduce or control aesthetics impacts, if any:

N/A

11. Light and glare

- a. What type of light or glare will the proposal produce? What time of day would it mainly occur?

None

- b. Could light or glare from the finished project be a safety hazard or interfere with views?

No

- c. What existing off-site sources of light or glare may affect your proposal?

None

- d. Proposed measures to reduce or control light and glare impacts, if any:

N/A

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity?

Residential waterfront recreations consisting of boating and swimming.

b. Would the proposed project displace any existing recreational uses? If so, describe.
No

c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any:
N/A

13. Historic and cultural preservation

a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers? If so, specifically describe.

Unknown

b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources.

No

c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. Examples include consultation with tribes and the department of archeology and historic preservation, archaeological surveys, historic maps, GIS data, etc.

Review of the Washington Information System for Architectural & Archaeological Records Data published by the Washington State Department of Archaeological & Historical Preservation

d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. Please include plans for the above and any permits that may be required.

N/A

14. Transportation

a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. Show on site plans, if any.

Forest Ave SE & W Mercer Way

- b. Is the site or affected geographic area currently served by public transit? If so, generally describe. If not, what is the approximate distance to the nearest transit stop?

Yes there is a bus service on W Mercer Way.

- c. How many additional parking spaces would the completed project or nonproject proposal have? How many would the project or proposal eliminate?

None

- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? If so, generally describe (indicate whether public or private).

No

- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe.

No

- f. How many vehicular trips per day would be generated by the completed project or proposal? If known, indicate when peak volumes would occur and what percentage of the volume would be trucks (such as commercial and non-passenger vehicles). What data or transportation models were used to make these estimates?

None

- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? If so, generally describe.

No

- h. Proposed measures to reduce or control transportation impacts, if any:

N/A

15. Public services

- a. Would the project result in an increased need for public services (for example; fire protection, police protection, health care, schools, other)? If so, generally describe.

No

- b. Proposed measures to reduce or control direct impacts on public services, if any.

N/A

16. Utilities

a. Check utilities currently available at the site:

Electricity <input checked="" type="checkbox"/>	Natural Gas <input checked="" type="checkbox"/>	Water <input checked="" type="checkbox"/>	Refuse Service <input checked="" type="checkbox"/>
Telephone <input type="checkbox"/>	Sanitary sewer <input type="checkbox"/>	Septic system <input checked="" type="checkbox"/>	Other <input type="checkbox"/>

b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed.

N/A

C. SIGNATURE

I certify (or declare) under penalty of perjury under the laws of the State of Washington that the answers to the attached SEPA Checklist are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Date Submitted: 9-15-2021

SEPA RULES

SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS

(do not use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

1. How would the proposal be likely to increase discharge to water; emissions to air; productions, storage, or release of toxic or hazardous substances; or production of noise?
-

Proposed measures to avoid or reduce increases are:

2. How would the proposal be likely to affect plants, animals, fish, or marine life?

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

3. How would the proposal be likely to deplete energy or natural resources?

Proposed measures to protect or conserve energy and natural resources are:

4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

Proposed measures to protect such resources or to avoid or reduce impacts are:

5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

Proposed measures to avoid or reduce shoreline and land use impacts are:

6. How would the proposal be likely to increase demands on transportation or public services and utilities?

Proposed measures to reduce or respond to such demand(s) are:

7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

[Statutory Authority: RCW [43.21C.110](#), WSR 16-13-012 (Order 15-09), § 197-11-960, filed 6/2/16, effective 7/3/16. Statutory Authority: RCW [43.21C.110](#) and [43.21C.100](#) [43.21C.170]. WSR 14-09-026 (Order 13-01), § 197-11-960, filed 4/9/14, effective 5/10/14. Statutory Authority: RCW [43.21C.110](#), WSR 13-02-065 (Order 12-01), § 197-11-960, filed 12/28/12, effective 1/28/13; WSR 84-05-020 (Order DE 83-39), § 197-11-960, filed 2/10/84, effective 4/4/84.]



DETERMINATION OF NON-SIGNIFICANCE (DNS)

Application No.: **SEP21-026**

Description of proposal: **Review under the State Environmental Policy Act (SEPA) to repair 6 existing wood piles at an existing residential pier, remove 1 mooring pile, remove a personal watercraft lift, install a new boatlift, and install a new dual personal watercraft lift.**

Proponent: **Zoe Rohaly (Seaborn Pile Driving)**

Owner: **Saltwater LLC**

Location of proposal: **4421 Forest Ave SE, Mercer Island, WA 98040;
Identified by King County Assessor tax parcel numbers 548270-0185**

Lead agency: **City of Mercer Island**

Project Documents: **Please follow this file path to access the associated documents for this project: <https://mieplan.mercergov.org/public/SHL21-041&SEP21-026/>**

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist. This information is available to the public on request.

_____ There is no comment period for this DNS.

_____ This DNS is issued after using the optional DNS process in WAC 197-11-355. There is no further comment period on the DNS.

_____ This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for 14 days from the date below. Comments must be submitted by N/A at 5:00pm.

Responsible Official: Andrew Leon, Planner
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 98040
Phone: (206) 275-7720
Email: andrew.leon@mercergov.org

Date: **September 6, 2022**

Signature:

APPEAL INFORMATION

This decision to issue a Determination of Non-significance (DNS) rather than to require an EIS may be appealed pursuant to Section 19.21 of the Mercer Island Unified Land Development Code, Environmental procedures.

- ✓ _____ Any party of record may appeal this determination to the City Clerk at 9611 SE 36th Street Mercer Island, WA 98040 no later than **5:00 PM on Tuesday, September 20, 2022** by filing a timely and complete appeal application and paying the appeal fee. You should be prepared to make specific factual objections. Contact the City Clerk to read or ask about the procedures for SEPA appeals. To reverse, modify or remand this decision, the appeal hearing body must find that there has been substantial error, the proceedings were materially affected by irregularities in procedure, the decision was unsupported by material and substantial evidence in view of the entire record, or the decision is in conflict with the city's applicable decision criteria.

_____ There is no agency appeal.

Retrieved
4/13/07 gm

#16



City of Mercer Island Development Services Group

Affidavit of Posting

FOR DSG USE ONLY

File no. SEPO6-029
Deposit Fee Receipt & Date Pd
97653 Date Paid 12/4/06
 Transaction Code 3017 - Self Posting

Date Sign Pick-up 12/4/06
Date Sign Returned ^{picked up} 4/13/07
(Account # DS 0000-2391059)
Planner Dan Valoff

APPLICANT NAME Comcast Cable/Jarod Duncan PHONE NO. (253) 405-6558
PROPOSAL Underground cable - SEPA review
POSTING PERIOD: From 12-4-06 To: 12-18-06

AFFIDAVIT OF POSTING:

On: Dec. 4, 2006, I will post the City of Mercer Island
(date)

Public Notice Board at 8316 Avahn Dr.
(location)

The Public Notice Board, with copies of information on the proposal, was posted for the required fourteen day time period until 5 pm on Dec. 18, 2006.

James ? JH (signature) 12/4/06 (date)

A \$50 deposit is required for the use of the City of Mercer Island Public Notice Board, and will be refunded when the Notice Board has been returned to the city. If not returned within 30 days of the decision being issued, you will forfeit deposit.

RECORDED

Jeff -
2 signs were
picked up by Jimmie

Darla

4/13/67

James

...

...

...

...

...

#16

CITY OF MERCER ISLAND

REQUEST FOR CASH REFUND

(To be processed through regular claims run)

We returned the sign 4/13/07

TO: FINANCE DIRECTOR

DATE: _____

REFUND TO:
JAROD DUNCAN
P.O. BOX 1490
Buckley Wa. 98321

PAID BY: (if different from refund recipient)

Applicant Signature: *James J. H.*

REASON: *Land Use Sign Returned*

IF APPLICABLE: PERMIT TYPE _____ PERMIT # _____

RECEIVED ON RECEIPT # _____ DATE: _____

CODE (S) *DS0002391059* AMOUNT (S) \$ _____

TOTAL \$ _____

SIGNED _____
(STAFF REQUESTING REFUND)

AUTHORIZED _____
(DEPARTMENT APPROVAL)

AUTHORIZED _____
(FINANCE DIRECTOR, IF NEEDED)

***** ROUTE TO ACCOUNTS PAYABLE UPON AUTHORIZATION *****

=====

CITY OF MERCER ISLAND
CUSTOMER SERVICE CENTER
236-5300

REG-RECEIPT:01-0097653 C:DEC 04 2006
CASHIER ID:X 12:05 pm A:DEC 04 2006

=====

3017 SIGNS - LAND USE \$50.00

TOTAL DUE \$50.00

RECEIVED FROM:
JAROD R DUNCAN

CREDIT CARD: \$50.00

TOTAL TENDERED \$50.00

CHANGE DUE \$0.00

=====





February 20, 2007

Development Services Group
WEEKLY PERMIT INFORMATION BULLETIN

A publication of the City of Mercer Island issued weekly providing official notice of land use applications filed and decisions made on development permits

You may review the files on projects at the offices of Development Services, 9611 SE 36th St, Mercer Island. Comments on proposals are accepted fourteen (14) days from the date of publication of this bulletin. Comments must be in writing and contain your name and address and reference the project number and location. All written comments must be filed with the Development Services Group or if there is a public hearing, testimony may be given at the public hearing before a decision is made in order to establish standing to appeal the decision.

NOTICE OF DECISION (REPUBLISHED)

Project #: SHL06-029 / SEP06-030
Description: A Shoreline Substantial Development Permit and State Environmental Policy Act (SEPA) Checklist to repair pier decking and replace two-twelve inch wood mooring piles with two-ten inch galvanized steel mooring piles.
SEPA Review: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) is issued pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency and does not constitute approval of the proposal as a Shoreline Exemption Approval and a Building Permit must be issued.
Location: 4421 Forest Avenue SE
Applicant: Waterfront Construction Inc. for David and Debra Galloway
Decision: Approval of Shoreline Exemption Approval subject to seven conditions and SEPA Threshold Determination of Non-Significance
Appeal Period Ends: March 6, 2007 at 5:00 PM
Staff Contact: Jeffrey Thomas, Interim Director

NOTICE OF DECISION

Project #: SEP06-029
Description: A State Environmental Policy Act (SEPA) Checklist for the installation of an underground cable to a single family dwelling under a Type 2 watercourse by directional boring.
SEPA Review: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) is issued pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency and does not constitute approval of the proposal as a Right-of-Way Use Permit must be issued.
Location: 8316 Avalon Drive
Applicant: Comcast Cable
Decision: SEPA Threshold Determination of Non-Significance
Appeal Period Ends: March 6, 2007 at 5:00 PM
Staff Contact: Jeffrey Thomas, Interim Director

NOTICE OF DECISION

Project #: SEP06-032
Description: A State Environmental Policy Act (SEPA) Checklist for the demolition of the existing Chevron convenience store, fueling center and remove three 15,000 gallon underground storage tanks.
SEPA Review: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) is issued pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency and does not constitute approval of the proposal as a Demolition Permit must be issued.
Location: 7725 Sunset Highway
Applicant: PNE Corporation for Agree Associates
Decision: SEPA Threshold Determination of Non-Significance
Appeal Period: March 6, 2007 at 5:00 PM
Ends:
Staff Contact: Jeffrey Thomas, Interim Director

NOTICE OF DECISION

Project #: SHL07-001
Description: A Shoreline Exemption Approval for maintenance and repair of an existing pier.
SEPA Review: Categorically Exempt per WAC 197-11-800(3)
Location: 3261 67th Avenue SE
Applicant: Waterfront Construction Inc. for Terry Deeny
Decision: Shoreline Exemption Approval subject to seven conditions
Appeal Period: March 6, 2007 at 5:00 PM
Ends:
Staff Contact: Jeffrey Thomas, Interim Director

In order to appeal a project decision, you must have filed a written comment or testified at the public hearing before the decision was made. Appeal on the decision must be made by filing an appeal form and fee at the City Hall by 5 PM on the appeal date.

Correspondence should be directed to the contact person at the following address:

Development Services Group
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 98040

206-236-5300

IF YOU WOULD LIKE TO RECEIVE FUTURE COPIES OF THIS BULLETIN, PLEASE FILL OUT THIS FORM AND RETURN IT TO MAILING ADDRESS ABOVE.

ATTENTION: PLEASE ADD ME TO THE BULLETIN MAILING LIST

NAME:

ADDRESS:

PHONE:



CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

PIER REPAIR AND MAINTENANCE

NOTICE OF DECISION

FEBRUARY 20, 2007

File No. : SHL06-029

Applicant Name: Seaborn Pile Driving Company

Owner Name: David & Debra Galloway

Description of Proposal: A Shoreline Exemption Approval for maintenance and repair of an existing pier including replacement decking as well as the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Location: 4421 Forest Avenue SE

Name of Water Area: Lake Washington

SEPA Determination: A SEPA Threshold Determination of Non-Significance is being issued concurrently with this approval.

Description of any other work planned in the future which is related to this project:
None Known

This project is **EXEMPT** because it is normal maintenance and repair of an existing structure pursuant to the City of Mercer Island Shoreline Master Program [MICC 19.07.110 (C)(2)(b)(ii)]

THE PROPOSAL IS: X **Consistent** _____ Inconsistent

with the policies of the Washington State Shoreline Management Act AND the City of Mercer Island Shoreline Master Program.

Conditions:

1. The applicant is responsible for securing any additional required permits and/or reviews from the City of Mercer Island, including but not limited to a Building Permit.
2. The applicant is responsible for securing any required state or federal permits and/or reviews.
3. Toxic materials, petrochemicals and construction debris shall not enter into the lake during construction.
4. The applicant shall notify the Mercer Island Police Department Marine Patrol any time a barge or other construction equipment will be moored near the subject property.
5. Inform the Mercer Island Maintenance Department at (206) 236-3613 of the anticipated start date of in-water work prior to commencement of construction.
6. Any appropriate erosion control measures shall be installed and maintained at all times during site development.
7. Any pollutants entering Lake Washington shall be reported immediately to the Department of Ecology, N.W. Regional Office: (425) 649-7000 and the City of Mercer Island (206) 236-5300.



Jeffrey B. Thomas
Interim Director
Development Services Group

February 20, 2007
Date

Under the Mercer Island City Code, you have the right to appeal this decision. If you desire to file an appeal, you must submit the appropriate form, available from the Development Services Group, and file it with the City Clerk within fourteen (14) days from the date this approval. Upon receipt of a complete application including appeal fee, a public hearing will be scheduled.



CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

PIER REPAIR AND MAINTENANCE

SEPA THRESHOLD DETERMINATION OF NON-SIGNIFICANCE

FEBRUARY 20, 2007

File No. : SEP06-030

Applicant Name: Seaborn Pile Driving Company

Owner Name: David & Debra Galloway

Description of Proposal: A State Environmental Policy Act (SEPA) checklist review and threshold determination for maintenance and repair of an existing pier including replacement decking as well as the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Location: 4421 Forest Avenue SE

Applicable Codes: A SEPA checklist is required to be processed as an Administrative Action pursuant to Mercer Island City Code (MICC) 19.15.010(E). Processing requirements for an Administrative Action are further detailed in MICC 19.15.020. SEPA procedures are contained in MICC 19.07.

Lead Agency: City of Mercer Island

Threshold Determination: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) is issued pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency.

This information is available for public review at no charge between 8:00 a.m. and 5:00 p.m. at the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA.

This threshold determination does not constitute approval of the proposal as a Building Permit must be issued by the City of Mercer Island. Permits and/or reviews may also be required by other agencies.

Appeal Information:

This decision to issue a DNS rather than to require an EIS may be appealed pursuant to MICC 19.15.020(J). Only those persons who submitted written comments within the designated fourteen (14) day period become parties of record and are eligible to file an appeal. Appeals shall be filed with the City Clerk **on or before Tuesday, March 6, 2007 at 5:00 p.m.** either in person or mailed to the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040-3732. The required appeal fee of \$569 must accompany the documents being filed for appeal. Any such appeal will be consolidated with an appeal on an underlying permit action completed by the City of Mercer Island.

Responsible Official:

Jeffrey B. Thomas
City of Mercer Island
Development Services Group
9611 SE 36th Street
Mercer Island, WA 98040-3732

Tel: (206) 236-5300
Fax: (206) 236-3599
Web: www.mercergov.org



Jeffrey B. Thomas
Interim Director
Development Services Group

February 20, 2007

Date

Barbara Ritchie
Department of Ecology
P. O. Box 47703
Olympia, WA 98504-7600

SEPA Reviewer
Puget Sound Water Quality Action
Team
P. O. Box 40900
Olympia, WA 98504-0900

SEPA Responsible Official
Seattle/ King County Health
Department
999 Third Ave, Suite 700
Seattle, WA 98104-4099

Larry Fisher
Wash State Dept of Fish & Wildlife
c/o Department of Ecology
3190 – 160th Ave SE
Bellevue, WA 98008

Department of Ecology
Shorelands & Environmental
Assistance Program, SEPA Unit
P. O. Box 47703
Olympia, WA 98504-7703

Muckleshoot Indian Tribe/Fisheries
Dept.
Attn: Project Reviewer
39015 172nd Avenue Southeast
Auburn, WA 98002

WA Dept. of Ecology
Attn: David Pater
Northwest Regional Office
3190 160th Ave. SE
Bellevue, WA 98008-5452

WA Department of Fish & Wildlife
16018 Mill Creek Blvd
Mill Creek, WA 98012

Eric Huart
Department of Natural Resources
P. O. Box 47014
Olympia, WA 98504-7014

Seattle District Army Corps of
Engineers
Regulatory Branch Permits Section
P. O. Box C-3755
Seattle, WA 98124-2255

City of Mercer Island DSG
Attn: Jeff Thomas
9611 SE 36th Street
Mercer Island, WA 98040
RE: SHL06-029 NOD

Ted Burns
Seaborne Pile Driving Co.
9311 SE 36th St. #204
Mercer Island, WA 98040

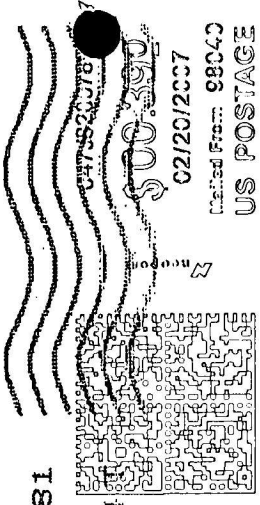
David & Debra Galloway
4421 Forest Ave. SE
Mercer Island, WA 98040



SEATTLE WA 981

CITY OF MERCER ISLAND, WASHINGTON
9611 S.E. 36th Street • Mercer Island, WA 98040-3732

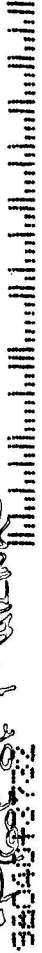
20 FEB 2007 PM 4



Mailed From: 98040
US POSTAGE

City of Mercer Island DSG
Attn: Jeff Thomas
9611 SE 36th Street
Mercer Island, WA 98040
RE: SHL06-029 NOD

Do not open
Robert Manning





CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

PIER REPAIR AND MAINTENANCE

NOTICE OF DECISION

FEBRUARY 20, 2007

File No. : SHL06-029

Applicant Name: Seaborn Pile Driving Company

Owner Name: David & Debra Galloway

Description of Proposal: A Shoreline Exemption Approval for maintenance and repair of an existing pier including replacement decking as well as the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Location: 4421 Forest Avenue SE

Name of Water Area: Lake Washington

SEPA Determination: A SEPA Threshold Determination of Non-Significance is being issued concurrently with this approval.

Description of any other work planned in the future which is related to this project:
None Known

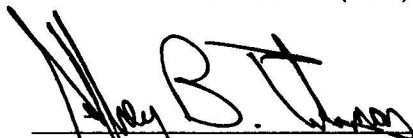
This project is **EXEMPT** because it is normal maintenance and repair of an existing structure pursuant to the City of Mercer Island Shoreline Master Program [MICC 19.07.110 (C)(2)(b)(ii)]

THE PROPOSAL IS: X **Consistent** _____ Inconsistent

with the policies of the Washington State Shoreline Management Act AND the City of Mercer Island Shoreline Master Program.

Conditions:

1. The applicant is responsible for securing any additional required permits and/or reviews from the City of Mercer Island, including but not limited to a Building Permit.
2. The applicant is responsible for securing any required state or federal permits and/or reviews.
3. Toxic materials, petrochemicals and construction debris shall not enter into the lake during construction.
4. The applicant shall notify the Mercer Island Police Department Marine Patrol any time a barge or other construction equipment will be moored near the subject property.
5. Inform the Mercer Island Maintenance Department at (206) 236-3613 of the anticipated start date of in-water work prior to commencement of construction.
6. Any appropriate erosion control measures shall be installed and maintained at all times during site development.
7. Any pollutants entering Lake Washington shall be reported immediately to the Department of Ecology, N.W. Regional Office: (425) 649-7000 and the City of Mercer Island (206) 236-5300.



Jeffrey B. Thomas
Interim Director
Development Services Group

February 20, 2007
Date

Under the Mercer Island City Code, you have the right to appeal this decision. If you desire to file an appeal, you must submit the appropriate form, available from the Development Services Group, and file it with the City Clerk within fourteen (14) days from the date this approval. Upon receipt of a complete application including appeal fee, a public hearing will be scheduled.



CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

PIER REPAIR AND MAINTENANCE**SEPA THRESHOLD DETERMINATION OF NON-SIGNIFICANCE****FEBRUARY 20, 2007**

File No. : SEP06-030

Applicant Name: Seaborn Pile Driving Company

Owner Name: David & Debra Galloway

Description of Proposal: A State Environmental Policy Act (SEPA) checklist review and threshold determination for maintenance and repair of an existing pier including replacement decking as well as the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Location: 4421 Forest Avenue SE

Applicable Codes: A SEPA checklist is required to be processed as an Administrative Action pursuant to Mercer Island City Code (MICC) 19.15.010(E). Processing requirements for an Administrative Action are further detailed in MICC 19.15.020. SEPA procedures are contained in MICC 19.07.

Lead Agency: City of Mercer Island

Threshold Determination: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) is issued pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency.

This information is available for public review at no charge between 8:00 a.m. and 5:00 p.m. at the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA.

This threshold determination does not constitute approval of the proposal as a Building Permit must be issued by the City of Mercer Island. Permits and/or reviews may also be required by other agencies.

Appeal Information:

This decision to issue a DNS rather than to require an EIS may be appealed pursuant to MICC 19.15.020(J). Only those persons who submitted written comments within the designated fourteen (14) day period become parties of record and are eligible to file an appeal. Appeals shall be filed with the City Clerk **on or before Tuesday, March 6, 2007 at 5:00 p.m.** either in person or mailed to the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040-3732. The required appeal fee of \$569 must accompany the documents being filed for appeal. Any such appeal will be consolidated with an appeal on an underlying permit action completed by the City of Mercer Island.

Responsible Official:

Jeffrey B. Thomas
City of Mercer Island
Development Services Group
9611 SE 36th Street
Mercer Island, WA 98040-3732

Tel: (206) 236-5300
Fax: (206) 236-3599
Web: www.mercergov.org



Jeffrey B. Thomas
Interim Director
Development Services Group

February 20, 2007

Date



CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

PIER REPAIR AND MAINTENANCE

NOTICE OF DECISION

FEBRUARY 20, 2007

File No. : SHL06-029

Applicant Name: Seaborn Pile Driving Company

Owner Name: David & Debra Galloway

Description of Proposal: A Shoreline Exemption Approval for maintenance and repair of an existing pier including replacement decking as well as the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Location: 4421 Forest Avenue SE

Name of Water Area: Lake Washington

SEPA Determination: A SEPA Threshold Determination of Non-Significance is being issued concurrently with this approval.

Description of any other work planned in the future which is related to this project:
None Known

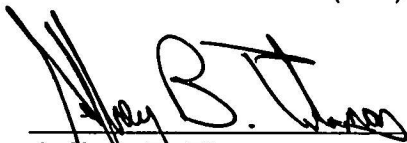
This project is **EXEMPT** because it is normal maintenance and repair of an existing structure pursuant to the City of Mercer Island Shoreline Master Program [MICC 19.07.110 (C)(2)(b)(ii)]

THE PROPOSAL IS: X **Consistent** _____ Inconsistent

with the policies of the Washington State Shoreline Management Act AND the City of Mercer Island Shoreline Master Program.

Conditions:

1. The applicant is responsible for securing any additional required permits and/or reviews from the City of Mercer Island, including but not limited to a Building Permit.
2. The applicant is responsible for securing any required state or federal permits and/or reviews.
3. Toxic materials, petrochemicals and construction debris shall not enter into the lake during construction.
4. The applicant shall notify the Mercer Island Police Department Marine Patrol any time a barge or other construction equipment will be moored near the subject property.
5. Inform the Mercer Island Maintenance Department at (206) 236-3613 of the anticipated start date of in-water work prior to commencement of construction.
6. Any appropriate erosion control measures shall be installed and maintained at all times during site development.
7. Any pollutants entering Lake Washington shall be reported immediately to the Department of Ecology, N.W. Regional Office: (425) 649-7000 and the City of Mercer Island (206) 236-5300.



Jeffrey B. Thomas
Interim Director
Development Services Group

February 20, 2007
Date

Under the Mercer Island City Code, you have the right to appeal this decision. If you desire to file an appeal, you must submit the appropriate form, available from the Development Services Group, and file it with the City Clerk within fourteen (14) days from the date this approval. Upon receipt of a complete application including appeal fee, a public hearing will be scheduled.



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PIER REPAIR AND MAINTENANCE

SEPA THRESHOLD DETERMINATION OF NON-SIGNIFICANCE

FEBRUARY 20, 2007

File No. : SEP06-030

Applicant Name: Seaborn Pile Driving Company

Owner Name: David & Debra Galloway

Description of Proposal: A State Environmental Policy Act (SEPA) checklist review and threshold determination for maintenance and repair of an existing pier including replacement decking as well as the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Location: 4421 Forest Avenue SE

Applicable Codes: A SEPA checklist is required to be processed as an Administrative Action pursuant to Mercer Island City Code (MICC) 19.15.010(E). Processing requirements for an Administrative Action are further detailed in MICC 19.15.020. SEPA procedures are contained in MICC 19.07.

Lead Agency: City of Mercer Island

Threshold Determination: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) is issued pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency.

This information is available for public review at no charge between 8:00 a.m. and 5:00 p.m. at the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA.

This threshold determination does not constitute approval of the proposal as a Building Permit must be issued by the City of Mercer Island. Permits and/or reviews may also be required by other agencies.

Appeal Information:

This decision to issue a DNS rather than to require an EIS may be appealed pursuant to MICC 19.15.020(J). Only those persons who submitted written comments within the designated fourteen (14) day period become parties of record and are eligible to file an appeal. Appeals shall be filed with the City Clerk **on or before Tuesday, March 6, 2007 at 5:00 p.m.** either in person or mailed to the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040-3732. The required appeal fee of \$569 must accompany the documents being filed for appeal. Any such appeal will be consolidated with an appeal on an underlying permit action completed by the City of Mercer Island.

Responsible Official:

Jeffrey B. Thomas
City of Mercer Island
Development Services Group
9611 SE 36th Street
Mercer Island, WA 98040-3732

Tel: (206) 236-5300
Fax: (206) 236-3599
Web: www.mercergov.org



Jeffrey B. Thomas
Interim Director
Development Services Group

February 20, 2007

Date

10



City of Mercer Island
Development Services Group

Affidavit of Posting

FOR DSG USE ONLY

File no. SH06-029/SEP06-030
Deposit Fee Receipt & Date Pd
977578 Date Paid 12/11/06
 Transaction Code 3017 - Self Posting

Date Sign Pick-up 12/11/06
Date Sign Returned 1/8/07
(Account # DS 0000-2391059)
Planner Dan Valoff

APPLICANT NAME Ted Burns PHONE NO. 206-236-1700
PROPOSAL Galloway Dock repair
POSTING PERIOD: From 12-11-06 To: 12-26-06

AFFIDAVIT OF POSTING:

On: Dec. 11, 2006, I will post the City of Mercer Island
(date)

Public Notice Board at 4421 Forest Ave. NE
(location)

The Public Notice Board, with copies of information on the proposal, was posted for the required fourteen day time period until 5 pm on Dec. 26, 2006.

Jeff Sidulsther
(signature)

DEC-11-06
(date)

A \$50 deposit is required for the use of the City of Mercer Island Public Notice Board, and will be refunded when the Notice Board has been returned to the city. If not returned within 30 days of the decision being issued, you will forfeit deposit.



December 11, 2006

Development Services Group
WEEKLY PERMIT INFORMATION BULLETIN

A publication of the City of Mercer Island issued weekly providing official notice of land use applications filed and decisions made on development permits

You may review the files on projects at the offices of Development Services, 9611 SE 36th St, Mercer Island. Comments on proposals are accepted fourteen (14) days from the date of publication of this bulletin. Comments must be in writing and contain your name and address and reference the project number and location. All written comments must be filed with the Development Services Group or if there is a public hearing, testimony may be given at the public hearing before a decision is made in order to establish standing to appeal the decision.

NOTICE OF APPLICATION

Project #: SHL06-026 / SEP06-024
Description: A Shoreline Substantial Development Permit and State Environmental Policy Act (SEPA) Checklist to repair a portion of failed bulkhead.
Location: 4568 East Mercer Way
Applicant: Jeff Davis
Date of Application: October 13, 2006
Date Determined to be Complete: December 8, 2006
Approvals Required: Administrative Approval
SEPA Review: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used. Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.
Comment Period Ends: December 26, 2006 at 5:00 PM
Staff Contact: Jeffrey Thomas, Principal Planner

NOTICE OF APPLICATION

Project #: SHL06-028/SEP06-026
Description: A Shoreline Substantial Development Permit and State Environmental Policy Act (SEPA) Checklist to repair a portion of failed bulkhead.
Location: 4556 East Mercer Way
Applicant: John Blackburn
Date of Application: October 13, 2006
Date Determined to be Complete: December 8, 2006
Approvals Required: Administrative Approval
SEPA Review: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used. Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.
Comment Period Ends: December 26, 2006 at 5:00 PM
Staff Contact: Jeffrey Thomas, Principal Planner

NOTICE OF APPLICATION

Project #: SHL06-029 / SEP06-030
Description: A Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist to repair an existing dock decking and removal of two 12-inch mooring piles and replace with 10-inch galvanized steel mooring piles.
Location: 4421 Forest Avenue SE
Applicant: Seaborn Pile Driving Co.
Date of Application: October 23, 2006
Date Determined to be Complete: December 8, 2006
Approvals Required: Administrative Approval
SEPA Review: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used. Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.
Comment Period Ends: December 26, 2006 at 5:00 PM
Staff Contact: Jeffrey Thomas, Principal Planner

NOTICE OF DECISION

Project #: SHL06-018/SEP06-019
Description: A Shoreline Substantial Development Permit and State Environmental Policy Act (SEPA) Checklist to extend an existing pier to 100-feet in length including 2-additional mooring piles and relocation of an existing boatlift.
SEPA Review: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used. Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.
Location: 9216 SE 33rd Place
Applicant: Victor R. Michalak
Decision: Approved, subject to nine (9) conditions.
Appeal Period Ends: An appeal to the Washington State Shorelines Hearings Board must be made within twenty-one (21) days of the date of filing with the Washington State Department of Ecology. Please contact the City of Mercer Island for more information.
Staff Contact: Jeffrey Thomas, Principal Planner

NOTICE OF DECISION

Project #: SHL06-021
Description: Shoreline Substantial Development Permit to construct a single-family residence and appurtenances landward of the identified ordinary high water mark.
SEPA Review: Categorically Exempt per MICC 19.07.120(J)(5)(a) and MICC 19.07.120(J)(5)(d)(ii)
Location: 8439 SE 87th Street
Applicant: MacPherson Construction & Design LLC
Decision: Approved, subject to eleven (11) conditions.
Appeal Period Ends: An appeal to the Washington State Shorelines Hearings Board must be made within twenty-one (21) days of the date of filing with the Washington State Department of Ecology. Please contact the City of Mercer Island for more information.
Staff Contact: Jeffrey Thomas, Principal Planner

NOTICE OF DECISION

Project #: SUB06-013
Description: A request for approval of a Lot Line Revision between two lots.
SEPA Review: Categorically Exempt per WAC 197-11-800(6)(a)
Location: Lot A is located at 8446 N Mercer Way, and Lot B is located at 8602 N Mercer Way (previously addressed as 8454 N. Mercer Way).
Applicant: Kristina Robbs and Dodi Nov
Decision: Approved, subject to six conditions
Appeal Period Ends: December 26, 2006 at 5:00 PM
Staff Contact: George Steirer, Senior Planner

NOTICE OF DECISION

Project #: CPA06-001
Description: The following is an addition to the Comprehensive Plan, Community Values portion of the Vision Statement contained in the Introduction Section on page – 6.

Sustainable Community

Mercer Island strives to be a sustainable community: Meeting the needs of the present while preserving the ability of future generations to meet their own needs. We consider the relationship between the decisions we make as a community and their long-term impacts before committing to them. We understand that our strength is dependent on an open decision-making process that takes into account the economic, environmental and social well-being of our community.

SEPA Review: The lead agency has determined that this proposal will not have a probable significant adverse impact on the environment therefore a SEPA Threshold Determination of Non-Significance (DNS) was issued on November 6, 2006 pursuant to the optional DNS process, as specified in WAC 197-11-355. An Environmental Impact Statement (EIS) is not required under RCW 43.21C.030(2)(c). This threshold determination was made after review of the completed SEPA checklist as well as other information on file with the lead agency and is subject to legislative action by the Mercer Island City Council.

Location: All lands within the City of Mercer Island.
Proponent/Lead Agency: City of Mercer Island
Decision: Mercer Island City Council passed Ordinance 06C-12 on November 20, 2006.
Appeal Period Ends: A petition must be filed to the Washington State Growth Management Hearings Board within sixty (60) days after ordinance publication. Please contact the City of Mercer Island for more information.
Staff Contact: Jeffrey Thomas, Principal Planner

In order to appeal a project decision, you must have filed a written comment or testified at the public hearing before the decision was made. Appeal on the decision must be made by filing an appeal form and fee at the City Hall by 5 PM on the appeal date.

Correspondence should be directed to the contact person at the following address:

Development Services Group
City of Mercer Island
9611 SE 36th Street
Mercer Island, WA 98040

206-236-5300

IF YOU WOULD LIKE TO RECEIVE FUTURE COPIES OF THIS BULLETIN, PLEASE FILL OUT THIS FORM AND RETURN IT TO MAILING ADDRESS ABOVE.

ATTENTION: PLEASE ADD ME TO THE BULLETIN MAILING LIST

NAME:

ADDRESS:

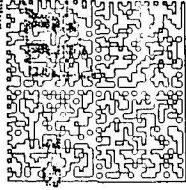
PHONE:



CITY OF MERCER ISLAND, WASHINGTON
9611 S.E. 36th Street • Mercer Island, WA 98040-3732

SEATTLE WA 981

44 DEC 2006 4:44



04718200

12/11/2006

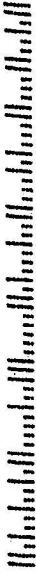
Mailed From 98040
US POSTAGE

City of Mercer Island DSG
Attn: Jeff Thomas
9611 SE 36th Street
Mercer Island, WA 98040

:ction

DO NOT OPEN-PROOF OF

38040+3732





CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

DOCK REPAIR**NOTICE OF APPLICATION****DECEMBER 11, 2006**

Notice of Application: **NOTICE IS HEREBY GIVEN** that an application for a Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist for the property described below has been filed with the City of Mercer Island.

File Nos. : SHL06-029 / SEP06-030

Location: 4421 Forest Avenue SE, Mercer Island, WA

Applicant Ted Burns

Owner Name: David & Debra Galloway

Description of Proposal: A Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist to repair of an existing dock decking and the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles. .

Name of Water Area: Lake Washington

Application Date: October 13, 2006

Completeness Date: December 8, 2006

Applicable Codes: Applications for both a Shoreline Exemption Approval and SEPA Checklist are required to be processed as an Administrative Action pursuant to Mercer Island City Code (MICC) 19.15.010(E). Processing requirements for an Administrative Action are further detailed in MICC 19.15.020. A Shoreline Exemption Approval requires a Notice of Application when SEPA review is not exempted or has not yet been completed. The Shoreline Management Master Program and SEPA Procedures are contained in MICC 19.07.

SEPA Compliance: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used.

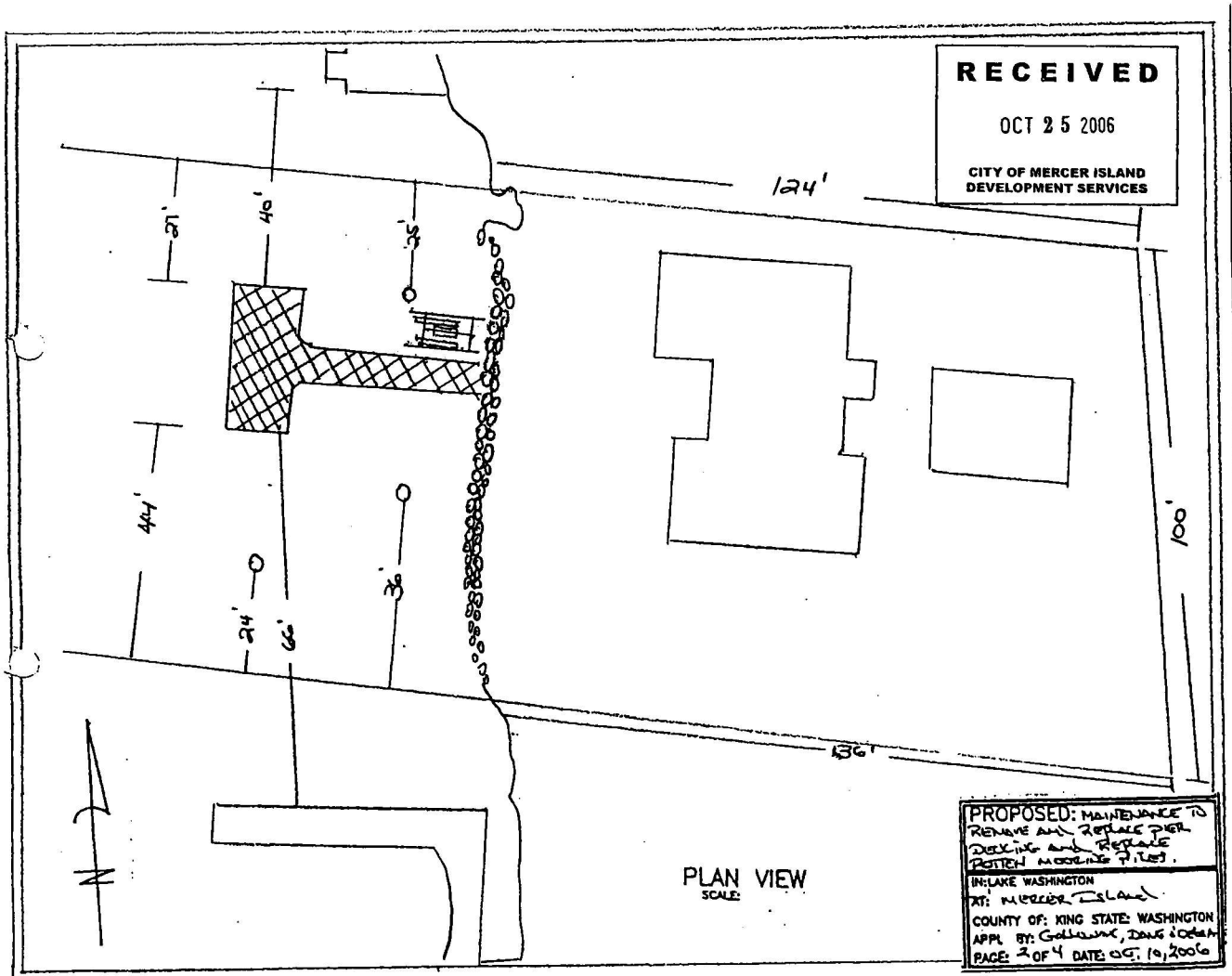
Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.

Written Comment:

This may be your only opportunity to comment on this proposal. Written comments on this proposal may be submitted to the City of Mercer Island on or before **Tuesday, December 26, 2006 at 5:00 p.m.** either in person or mailed to the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040-3732. Only those persons who submit written comments within this fourteen (14) day period will become parties of record and receive the subsequent Notice of Decision on these actions and will be eligible to file an appeal action.

Additional Information:

Please contact Jeff Thomas, Principal Planner at 206/236-5311 or jeff.thomas@mercergov.org to request additional information regarding this proposal. This project file is available for review at no charge between 8:00 a.m. and 5:00 p.m. at the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA.



DALLAS KEVIN+ANGELA
7002 SE 29TH ST
MERCER ISLAND WA 98040

RICE GREGORY H & JERI LYNN
421 UNIVERSITY STREET
SEATTLE WA 98101

GALLOWAY DAVID W &
DEBRA A
PO BOX 1163
MERCER ISLAND WA 98040

BURTENSHAW JERRY
4425 FOREST AVE SE
MERCER ISLAND WA 98040

AFROMOWITZ MARTIN
A+CHERRYL
4429 FOREST AVE SE
MERCER ISLAND WA 98040

BURTENSHAW JERRY
4425 FOREST AVE SE
MERCER ISLAND WA 98040

PETERS MICHAEL J
4445 FOREST AVE
MERCER ISLAND WA 98040

BERMAN KATHERINE
4451 FOREST AVE
MERCER ISLAND WA 98040

KOBATA GLENN T
8106 SE 44TH
MERCER ISLAND WA 98040

TACHER MORRIS ROBERT
8100 SE 44TH
MERCER ISLAND WA 98040

RICE JERI
421 UNIVERSITY ST
SEATTLE WA 98101

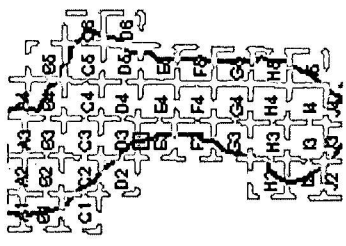
SPAUNHURST EDWIN N+DIANE
J
4305 FOREST AVE SE
MERCER ISLAND WA 98040

STICKNEY JEFF & KATHY
4339 FOREST AVE SE
MERCER ISLAND WA 98040

CHENOWETH THOMAS D
4327 FOREST AVE SE
MERCER ISLAND WA 98040

ROGERS DOUGLAS L
8124 E 44TH
MERCER ISLAND WA 98040

PinLink	TaxpayerName	AddrLine	AttnLine	CityState	ZipCode
5482700170	DALLAS KEVIN+ANGELA	7002 SE 29TH ST		MERCER ISLAND WA	98040
5482700180	RICE GREGORY H & JERI LYNN	421 UNIVERSITY STREET		SEATTLE WA	98101
5482700185	GALLOWAY DAVID W & DEBRA A	PO BOX 1163		MERCER ISLAND WA	98040
5482700195	BURTENSHAW JERRY	4425 FOREST AVE SE		MERCER ISLAND WA	98040
5482700196	AFROMOWITZ MARTIN A+CHERRY L	4429 FOREST AVE SE		MERCER ISLAND WA	98040
5482700198	BURTENSHAW JERRY	4425 FOREST AVE SE		MERCER ISLAND WA	98040
5482700215	PETERS MICHAEL J	4445 FOREST AVE		MERCER ISLAND WA	98040
5482700235	BERMAN KATHERINE	4451 FOREST AVE		MERCER ISLAND WA	98040
5486800050	KOBATA GLENN T	8106 SE 44TH		MERCER ISLAND WA	98040
5486800060	TACHER MORRIS ROBERT	8100 SE 44TH		MERCER ISLAND WA	98040
9365700340	RICE JERI	421 UNIVERSITY ST		SEATTLE WA	98101
9365700342	SPAUNHURST EDWIN N+DIANE J	4305 FOREST AVE SE		MERCER ISLAND WA	98040
9365700343	STICKNEY JEFF & KATHY	4339 FOREST AVE SE		MERCER ISLAND WA	98040
9365700344	CHENOWETH THOMAS D	4327 FOREST AVE SE		MERCER ISLAND WA	98040
9365700345	ROGERS DOUGLAS L	8124 E 44TH		MERCER ISLAND WA	98040

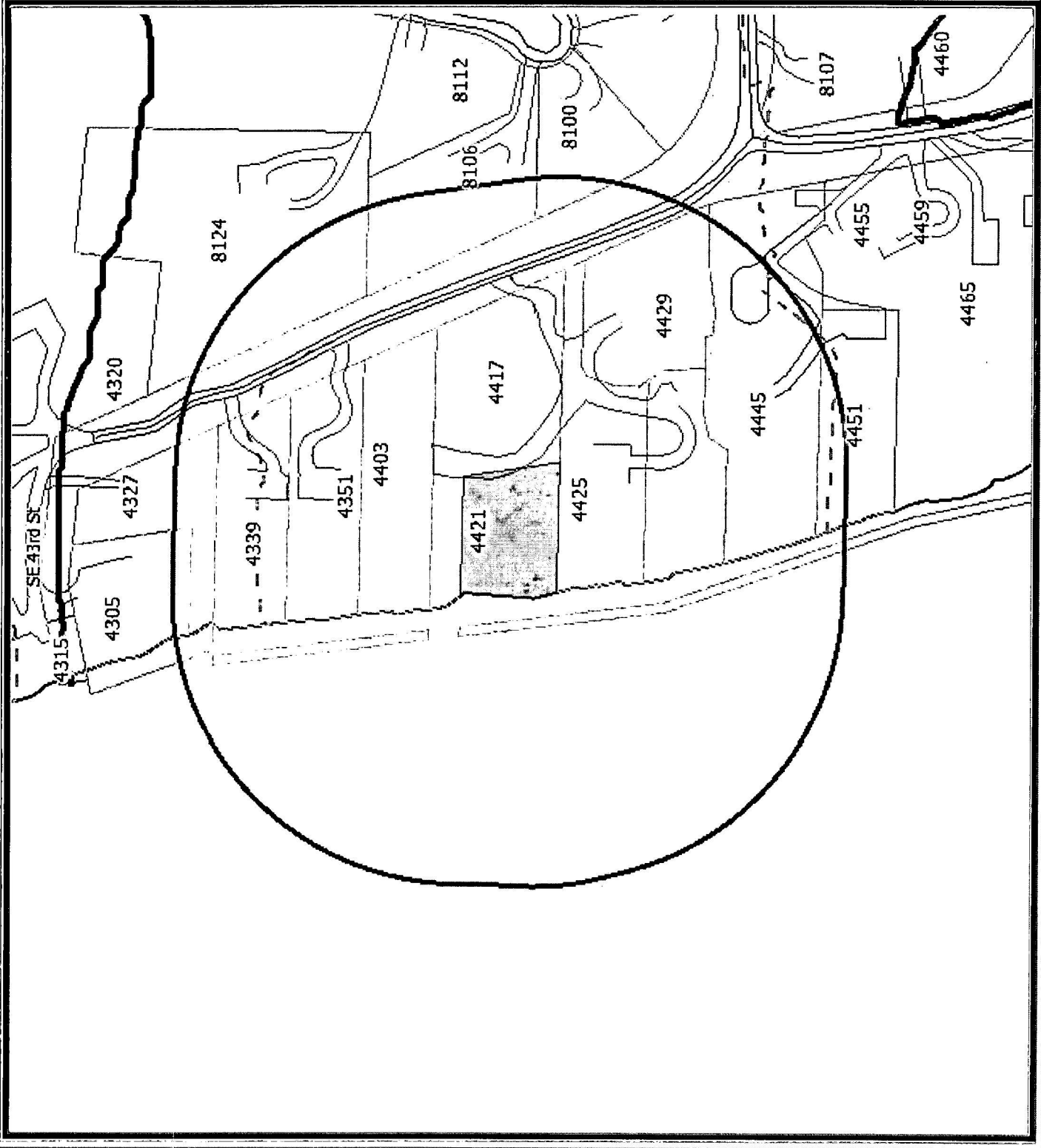


4421 Forest Avenue SE

Legend

Disclaimer: No warranties of any sort including accuracy, fitness or merchantability accompany this map.

Scale 1:1,926
1 in = 161 ft





CITY OF MERCER ISLAND9611 SE 36th Street • Mercer Island, WA 98040-3732

(206) 236-5300 • TDD (206) 232-9598

www.mercergov.org

DOCK REPAIR**NOTICE OF APPLICATION****DECEMBER 11, 2006**

Notice of Application: **NOTICE IS HEREBY GIVEN** that an application for a Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist for the property described below has been filed with the City of Mercer Island.

File Nos. : SHL06-029 / SEP06-030

Location: 4421 Forest Avenue SE, Mercer Island, WA

Applicant Ted Burns

Owner Name: David & Debra Galloway

Description of Proposal: A Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist to repair of an existing dock decking and the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles.

Name of Water Area: Lake Washington

Application Date: October 23, 2006

Completeness Date: December 8, 2006

Applicable Codes: Applications for both a Shoreline Exemption Approval and SEPA Checklist are required to be processed as an Administrative Action pursuant to Mercer Island City Code (MICC) 19.15.010(E). Processing requirements for an Administrative Action are further detailed in MICC 19.15.020. A Shoreline Exemption Approval requires a Notice of Application when SEPA review is not exempted or has not yet been completed. The Shoreline Management Master Program and SEPA Procedures are contained in MICC 19.07.

SEPA Compliance: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used.

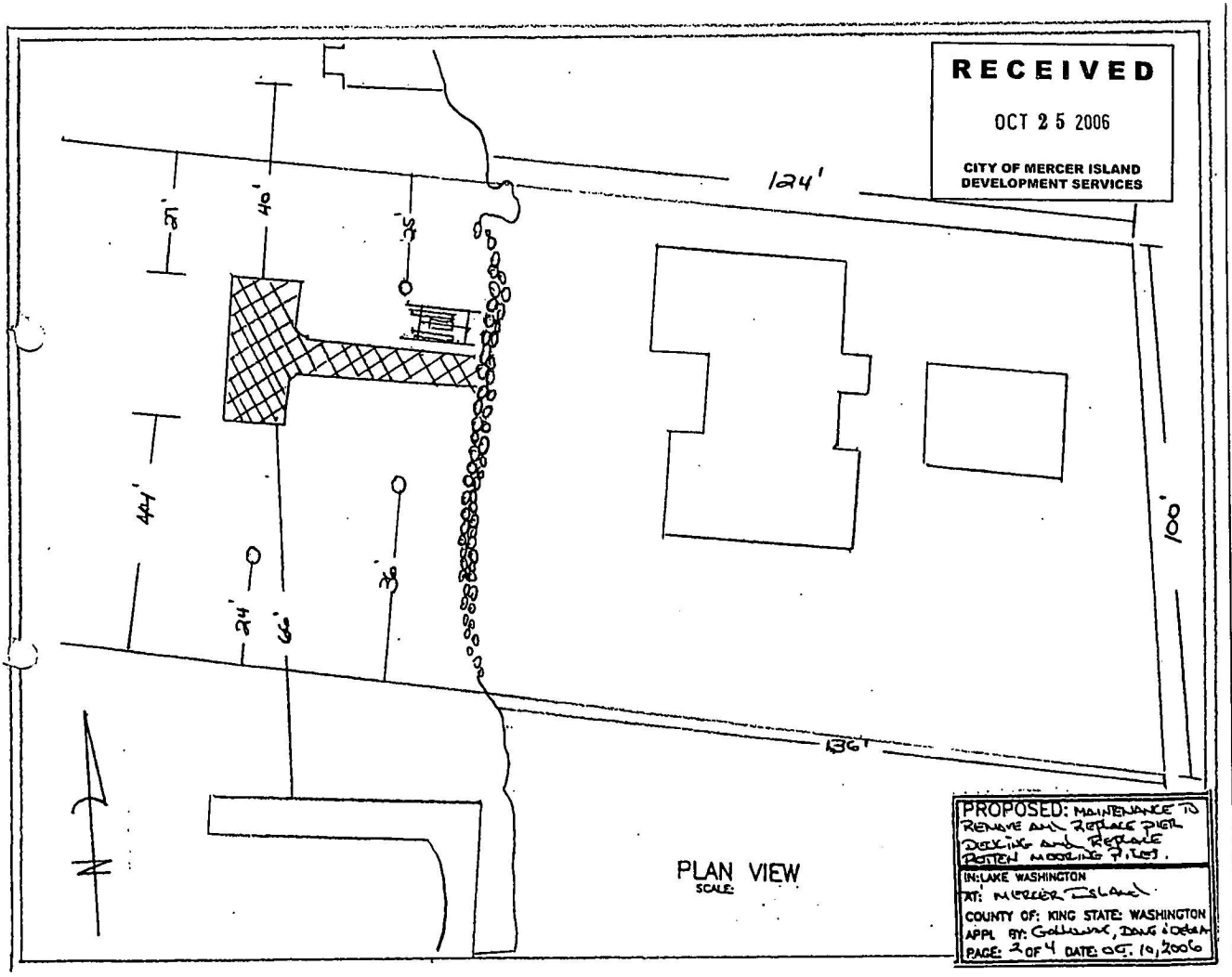
Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.

Written Comment:

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Additional Information:

Please contact Jeff Thomas, Principal Planner at 206/236-5311 or jeff.thomas@mercergov.org to request additional information regarding this proposal. This project file is available for review at no charge between 8:00 a.m. and 5:00 p.m. at the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA.



Barbara Ritchie
Department of Ecology
P. O. Box 47703
Olympia, WA 98504-7600

SEPA Reviewer
Puget Sound Water Quality Action
Team
P. O. Box 40900
Olympia, WA 98504-0900

SEPA Responsible Official
Seattle/ King County Health
Department
999 Third Ave, Suite 700
Seattle, WA 98104-4099

Larry Fisher
Wash State Dept of Fish & Wildlife
c/o Department of Ecology
3190 – 160th Ave SE
Bellevue, WA 98008

Department of Ecology
Shorelands & Environmental
Assistance Program, SEPA Unit
P. O. Box 47703
Olympia, WA 98504-7703

Muckleshoot Indian Tribe/Fisheries
Dept.
Attn: Project Reviewer
39015 172nd Avenue Southeast
Auburn, WA 98002

WA Dept. of Ecology
Attn: David Pater
Northwest Regional Office
3190 160th Ave. SE
Bellevue, WA 98008-5452

WA Department of Fish & Wildlife
16018 Mill Creek Blvd
Mill Creek, WA 98012

Eric Huart
Department of Natural Resources
P. O. Box 47014
Olympia, WA 98504-7014

Seattle District Army Corps of
Engineers
Regulatory Branch Permits Section
P. O. Box C-3755
Seattle, WA 98124-2255

City of Mercer Island DSG
Attn: Jeff Thomas
9611 SE 36th Street
Mercer Island, WA 98040

Ted Burns
Seaborne Pile Driving Co.
9311 SE 36th St. #204
Mercer Island, WA 98040

DO NOT OPEN-PROOF OF MAILING

David & Debra Galloway
4421 Forest Ave. SE
Mercer Island, WA 98040



CITY OF MERCER ISLAND

9611 SE 36th Street • Mercer Island, WA 98040-3732
(206) 236-5300 • TDD (206) 232-9598
www.mercergov.org

DOCK REPAIR**NOTICE OF APPLICATION****DECEMBER 11, 2006**

Notice of Application: **NOTICE IS HEREBY GIVEN** that an application for a Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist for the property described below has been filed with the City of Mercer Island.

File Nos. : SHL06-029 / SEP06-030

Location: 4421 Forest Avenue SE, Mercer Island, WA

Applicant Ted Burns

Owner Name: David & Debra Galloway

Description of Proposal: A Shoreline Exemption Approval and State Environmental Policy Act (SEPA) Checklist to repair of an existing dock decking and the removal of two 12-inch wood mooring piles and replaced with 10-inch galvanized steel mooring piles. .

Name of Water Area: Lake Washington

Application Date: October 23, 2006

Completeness Date: December 8, 2006

Applicable Codes: Applications for both a Shoreline Exemption Approval and SEPA Checklist are required to be processed as an Administrative Action pursuant to Mercer Island City Code (MICC) 19.15.010(E). Processing requirements for an Administrative Action are further detailed in MICC 19.15.020. A Shoreline Exemption Approval requires a Notice of Application when SEPA review is not exempted or has not yet been completed. The Shoreline Management Master Program and SEPA Procedures are contained in MICC 19.07.

SEPA Compliance: An initial evaluation of the proposed project for probable significant adverse environmental impacts has been conducted. It is anticipated that a SEPA Threshold Determination of Non-Significance (DNS) will be issued for this project. The optional DNS process, as specified in WAC 197-11-355, is being used.

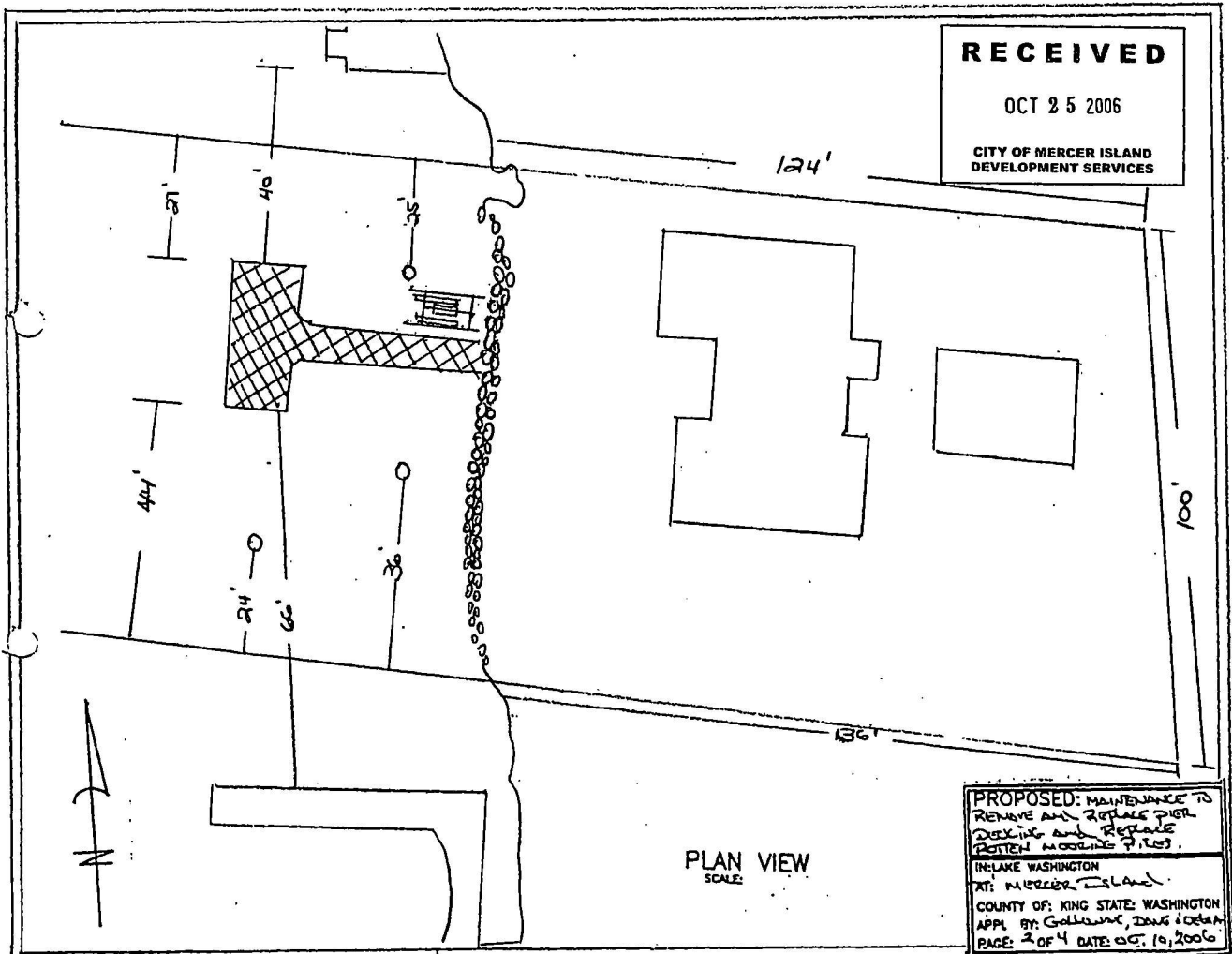
Mitigation measures may be incorporated or required regardless of whether an Environmental Impact Statement (EIS) is prepared, in addition to mitigation measures already included in the proposal.

Written Comment:

This may be your only opportunity to comment on this proposal. Written comments on this proposal may be submitted to the City of Mercer Island on or before **Tuesday, December 26, 2006 at 5:00 p.m.** either in person or mailed to the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA 98040-3732. Only those persons who submit written comments within this fourteen (14) day period will become parties of record and receive the subsequent Notice of Decision on these actions and will be eligible to file an appeal action.

Additional Information:

Please contact Jeff Thomas, Principal Planner at 206/236-5311 or jeff.thomas@mercergov.org to request additional information regarding this proposal. This project file is available for review at no charge between 8:00 a.m. and 5:00 p.m. at the City of Mercer Island, 9611 SE 36th Street, Mercer Island, WA.





CITY OF MERCER ISLAND, DEVELOPMENT SERVICES GROUP
9611 S.E. 36 ST., MERCER ISLAND, WA 98040 (206) 236-5300 FAX: (206) 236-3599
WWW.MERCERGOV.ORG

ENVIRONMENTAL CHECKLIST

(WAC 197-11-960)

Date Received _____

File No. _____

Fee _____

See attached Development Application

Purpose of Checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Use of checklist for nonproject proposals:

Complete this checklist for nonproject proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D).

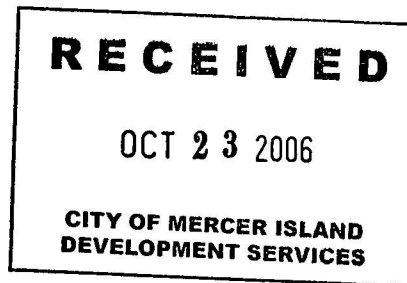
For nonproject actions, the references in the checklist to the words "project", "applicant," and "property or site" should be read as "proposal," proposer", and "affected geographic area," respectively.

A. BACKGROUND

1. Name of proposed project, if applicable:

2. Name of applicant:
3. Address and phone number of applicant and contact person:

4. Date checklist prepared:



WAC 197-11-960 Environmental checklist.

ENVIRONMENTAL CHECKLIST

Purpose of checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Use of checklist for nonproject proposals:

Complete this checklist for nonproject proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D).

For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

A. BACKGROUND

1. Name of proposed project, if applicable:

Galloway Pier repair.

2. Name of applicant: **David W. & Debra A. Galloway**

3. Address and phone number of applicant and contact person:

4421 Forest Ave. SE Mercer Island, WA. 98040

Contact: Seaborn Pile Driving Company – Attn: Ted Burns

9311 SE 36th Street Suite 204 Mercer Island, WA. 98040

206-236-1700

4. Date checklist prepared: **October 16, 2006**

5. Agency requesting checklist: **City of Mercer Island**

6. Proposed timing or schedule (including phasing, if applicable):

July 2007

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. **NO.**

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. **N/A**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. **None.**

10. List any government approvals or permits that will be needed for your proposal, if known.

City of Mercer Island Shoreline Exemption permit.

City of Mercer Island Building permit

US Army Corps of Engineers federal permit.

Wash State Dept of Fish & Wildlife Hydraulic Project Approval

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

Replace the deck of an existing conforming residential pier and replace (3) non-conforming mooring piles with (3) conforming mooring piles in the same location.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

4421 Forest Ave. SE Mercer Island, WA. 98040

Section: 13 Township: 24 Range: 4 Legal description: **38-39 MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ**

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site (circle one): Flat, rolling, hilly, steep slopes, mountainous, other

b. What is the steepest slope on the site (approximate percent slope)? **Greater than 10%.**

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland. **Peat and sand associated with a residential waterfront lot.**

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. **Unknown.**

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill. **None.**

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. **No.**

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? **None.**

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: **N/A**

a. **Air**

- a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known. **Minor engine exhaust from the crane only for a short time during construction.**
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. **Unknown**
- c. Proposed measures to reduce or control emissions or other impacts to air, if any: **Operate the crane only as required**

3. **Water**

a. Surface:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. **The job site is on Lake Washington.**
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. **Yes. The work will be on a barge over Lake Washington. Please see attached project description.**
- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. **N/A**
- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. **No.**
- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. **Unknown.**
- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. **No.**

b. Ground:

- 1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known. **No.**
- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. **N/A**

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. N/A

2) Could waste materials enter ground or surface waters? If so, generally describe. N/A

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any: N/A

4. Plants

a. Check or circle types of vegetation found on the site:

X deciduous tree: alder, maple, aspen, other

X evergreen tree: fir, cedar, pine, other

X shrubs

X grass

_____ pasture

_____ crop or grain

_____ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other

_____ water plants: water lily, eelgrass, milfoil, other

_____ other types of vegetation

b. What kind and amount of vegetation will be removed or altered? None

c. List threatened or endangered species known to be on or near the site. Unknown

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: Maintain existing landscape.

5. Animals

a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site. Unknown

c. Is the site part of a migration route? If so, explain. Unknown

d. Proposed measures to preserve or enhance wildlife, if any: N/A

6. Energy and natural resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. N/A

b. Would your project affect the potential use of solar energy by adjacent properties?
If so, generally describe. **N/A**

c. What kinds of energy conservation features are included in the plans of this proposal?
List other proposed measures to reduce or control energy impacts, if any: **N/A**

7. Environmental health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal?
If so, describe. **Unknown**

1) Describe special emergency services that might be required. **Unknown**

2) Proposed measures to reduce or control environmental health hazards, if any: **N/A**

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? **None**

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. **Crane engine noise for short periods during construction from 7:00 am – 3:30 pm.**

3) Proposed measures to reduce or control noise impacts, if any: **Operate the crane only as required.**

8. Land and shoreline use

a. What is the current use of the site and adjacent properties? **Residential and residential recreation.**

b. Has the site been used for agriculture? If so, describe. **No**

c. Describe any structures on the site. **Private residence.**

d. Will any structures be demolished? If so, what? **No**

e. What is the current zoning classification of the site? **R-15**

f. What is the current comprehensive plan designation of the site? **Residential**

g. If applicable, what is the current shoreline master program designation of the site? **Unknown**

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. **Unknown**

i. Approximately how many people would reside or work in the completed project? **Two people will live at the residence.**

j. Approximately how many people would the completed project displace? **None.**

k. Proposed measures to avoid or reduce displacement impacts, if any: **N/A**

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: **N/A**

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. **N/A**

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. **N/A**

c. Proposed measures to reduce or control housing impacts, if any: **N/A**

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? **N/A**

b. What views in the immediate vicinity would be altered or obstructed? **None**

c. Proposed measures to reduce or control aesthetic impacts, if any: **N/A**

11. Light and glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur? **N/A**

b. Could light or glare from the finished project be a safety hazard or interfere with views? **N/A**

c. What existing off-site sources of light or glare may affect your proposal? **N/A**

d. Proposed measures to reduce or control light and glare impacts, if any: **N/A**

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? **Unknown**
- b. Would the proposed project displace any existing recreational uses? If so, describe. **N/A**
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: **N/A**

13. Historic and cultural preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. **Unknown**
- b. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site. **Unknown**
- c. Proposed measures to reduce or control impacts, if any: **N/A**

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. **The proposed site is connected to Forest Ave. SE.**
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? **No. Unknown**
- c. How many parking spaces would the completed project have? How many would the project eliminate? **N/A**
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). **No.**
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. **No**
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. **N/A**
- g. Proposed measures to reduce or control transportation impacts, if any: **N/A**

15. Public services


- a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. **No**
- b. Proposed measures to reduce or control direct impacts on public services, if any. **N/A**

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Date Submitted: Oct. 20, 2006

SEPA RULES

D. SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS

(do not use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

- 1. How would the proposal be likely to increase discharge to water; emissions to air; productions, storage, or release of toxic or hazardous substances; or production of noise?

UNKNOWN

Proposed measures to avoid or reduce increases are:

- 2. How would the proposal be likely to affect plants, animals, fish, or marine life?

UNKNOWN

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

- 3. How would the proposal be likely to deplete energy or natural resources?

DOES NOT APPLY

Proposed measures to protect or conserve energy and natural resources are:

- 4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

UNKNOWN

Proposed measures to protect such resources or to avoid or reduce impacts are:

- 5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

THIS MAINTENANCE PROJECT WON'T AFFECT THE SHORELINE USE.

Proposed measures to avoid or reduce shoreline and land use impacts are:

LIMIT PROJECT TO MAINTENANCE OF EXISTING SHORELINE USE.

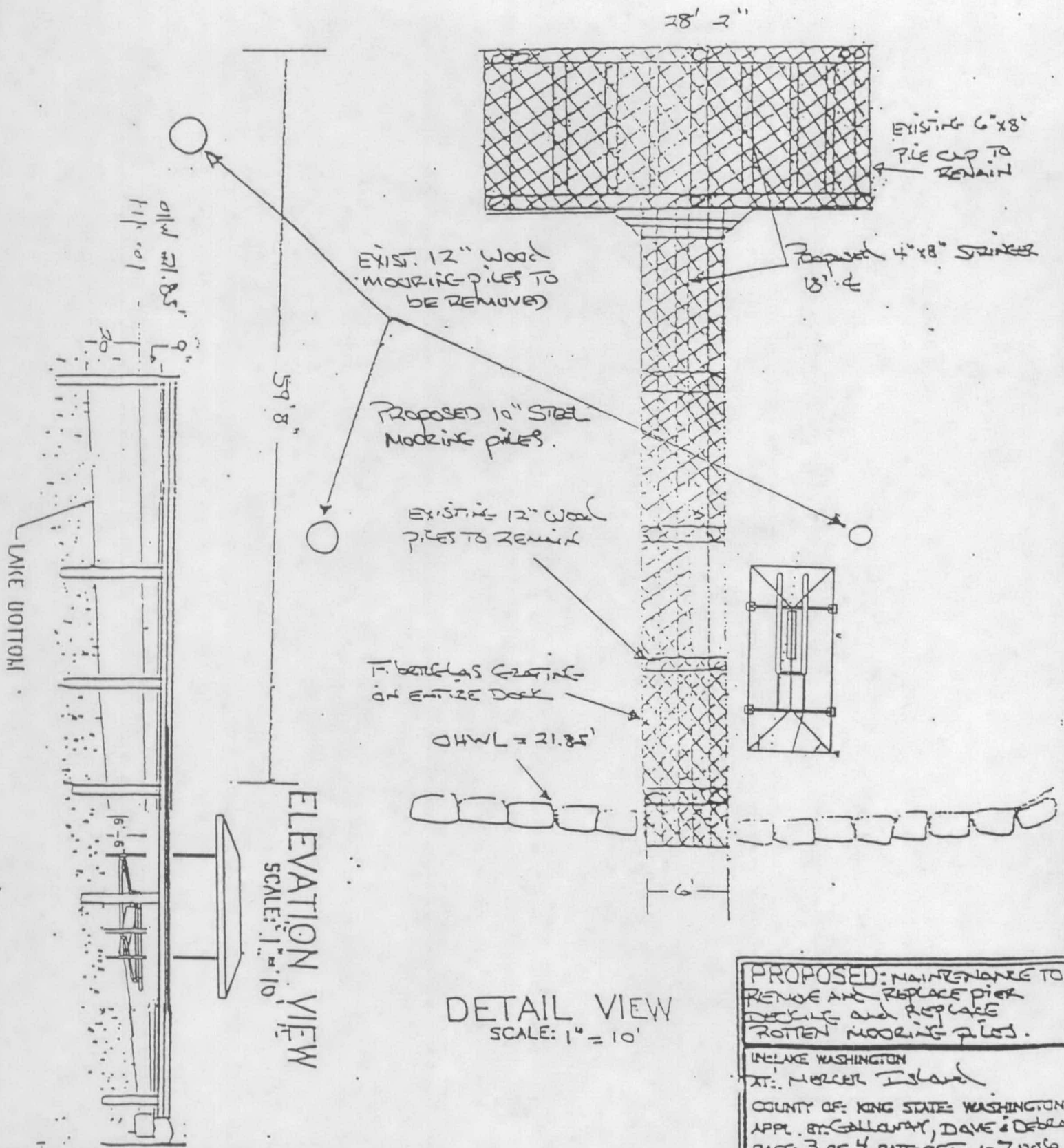
- 6. How would the proposal be likely to increase demands on transportation or public services and utilities?

DOES NOT APPLY

Proposed measures to reduce or respond to such demand(s) are:

- 7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

UNKNOWN



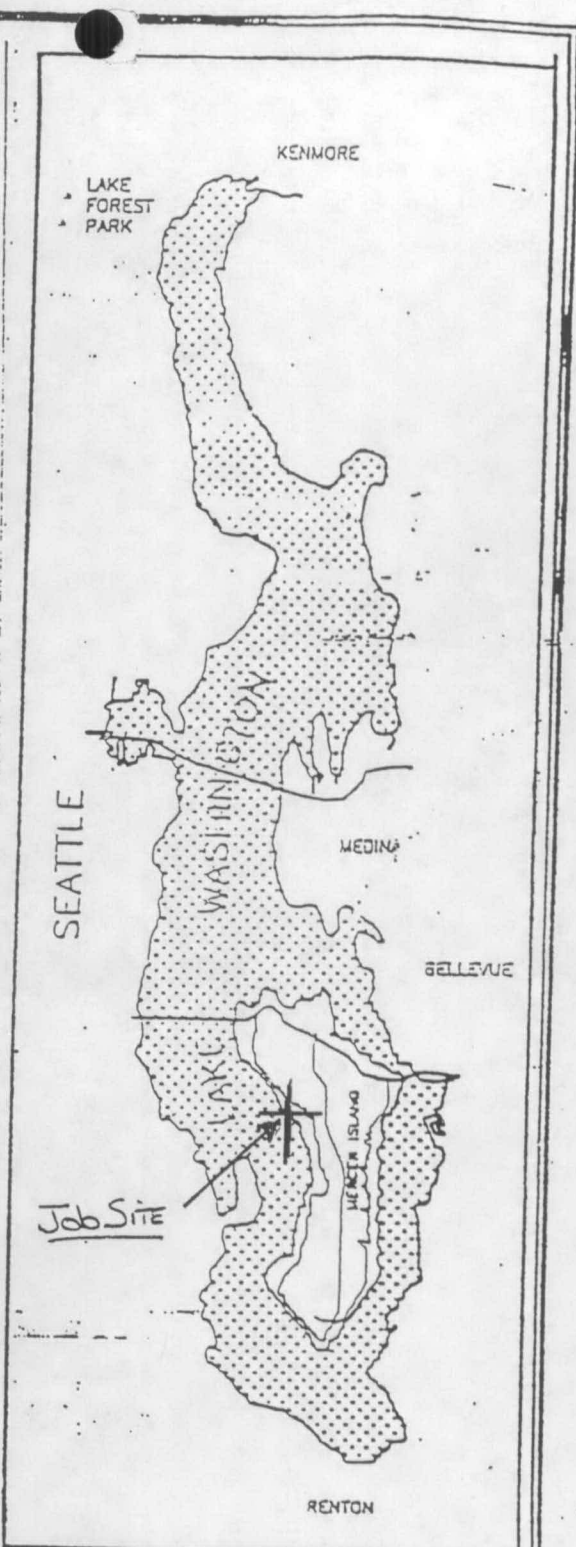
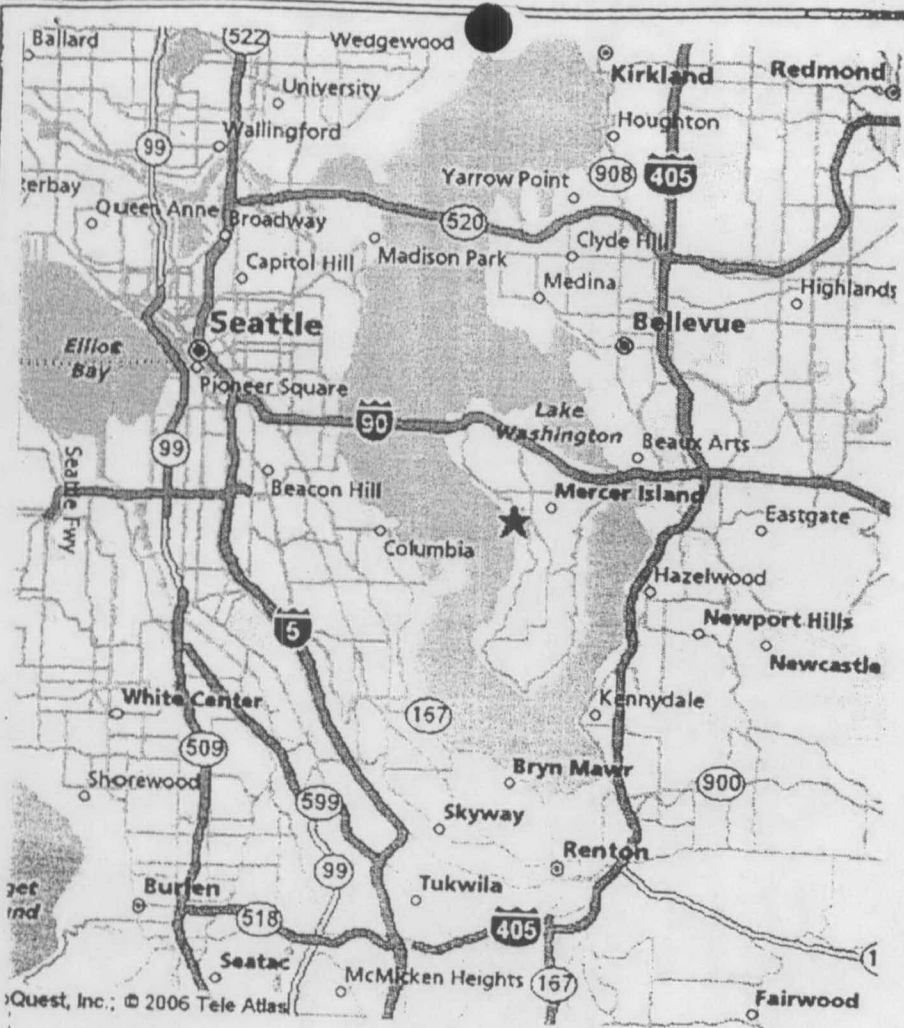
ELEVATION VIEW
SCALE: 1" = 10'

DETAIL VIEW
SCALE: 1" = 10'

PROPOSED: MAINTENANCE TO REMOVE AND REPLACE PIER DECKING AND REPLACE ROTTEN MOORING PILES.

IN: LAKE WASHINGTON
AT: MORCEL Island

COUNTY OF: KING STATE: WASHINGTON
APPL. BY: GALLOWAY, DAVE & DEBRA
PAGE: 3 OF 4 DATE: OCT, 10 2006



VICINITY MAP/NO SCALE

Parcel Number	5482700185
Address	4421 FOREST AVE SE
Zipcode	98040
Taxpayer	GALLOWAY DAVID W & DEBRA A

Account Number	548270018508	Records Number	01-02
Legal Description	38-39 MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ		
Plat Lot	38-39		
Lot Area	16,500 SqFt (0.38 acres)		
Section/Township/Range	SE 13 24 4		

PURPOSE:	Seaborn Pile Driving Company® 9311 SE 36 TH ST. #204 MERCER ISLAND, WA. 98040 (206)266-1700 (206)236-2700(Fax)	PROPOSED: MAINTENANCE TO REMOVE AND REPLACE PIER DECKING AND REPLACE ROTTEN MOORING PILES.
ADJACENT PROPERTY OWNERS:	JOB NAME: GALLOWAY (PIER REPAIR)	IN: LAKE WASHINGTON
JERRI (BRIENSHAW) 4425 FOREST AVE. SE	MAIL ADD:	AT: MERCER ISLAND
GREG & JERI LYNN RICE 4417 FOREST AVE. SE	SITE ADD: 4421 FOREST AVE S.E. MERCER ISLAND, WA.	COUNTY OF KING STATE: WASHINGTON
		PAGE: 1 OF 4 DATE: OCT. 10, 2006



CITY OF MERCER ISLAND, DEVELOPMENT SERVICES GROUP
 9611 SE 36 St., MERCER ISLAND WA 98040 (206) 236-5300 FAX: (206) 236-3599

APPLICATION ONLY

RECEIVED

OCT 23 2006

CITY OF MERCER ISLAND
 DEVELOPMENT SERVICES

Development Application

STREET ADDRESS/LOCATION 4421 FOREST AVE. S.E. MERCER ISLAND		Zone S5000 030	OFFICE USE ONLY		
COUNTY ASSESSOR PARCEL # 5482700185		PARCEL SIZE (SQ. FT.) 16,500	MAP PAGE	PERMIT # DEVELO-037 54806-029	RECEIPT # 97006 97006
				DATE RECEIVED 10-23-06	FEE 352.00 117.00
				DATE DETERMINED COMPLETE	BY CB

PROPERTY OWNER DAVID W. & DEBRA A. GALLOWAY	ADDRESS 4421 FOREST AVE. S.E.	PHONE/OFFICE FAX E-MAIL
PROJECT CONTACT NAME TED BURNS	ADDRESS 9311 SE 36th ST. #204 MERCER ISLAND	CELL/OFFICE 206.236.1700 FAX 206.236.2700 E-MAIL TEBURNS@yahoo.com
TENANT NAME	ADDRESS	PHONE FAX E-MAIL

DECLARATION: I HEREBY STATE THAT I AM THE OWNER OF THE SUBJECT PROPERTY OR I HAVE BEEN AUTHORIZED BY THE OWNER(S) OF THE SUBJECT PROPERTY TO REPRESENT THIS APPLICATION, AND THAT THE INFORMATION FURNISHED BY ME IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

[Signature]
SIGNATURE

DATE: OCT. 23, 2006

PROPOSED USE OF PROPERTY AND PURPOSE OF APPLICATION(S):
 MAINTENANCE OF AN EXISTING RESIDENTIAL DOCK TO REMOVE AND REPLACE THE DECKING. ALSO REPLACE (2) 12" WOOD MOORING PILES WITH () 10" GALV. STEEL MOORING PILING.

(PLEASE USE ADDITIONAL PAPER IF NEEDED) ATTACH RESPONSE TO DECISION CRITERIA IF APPLICABLE

FOR CITY USE ONLY - DO NOT WRITE BELOW THIS LINE

CHECK TYPE OF USE PERMIT(S) REQUESTED (APPLICABLE):

- | | | | |
|---|--|--|--|
| APEALS
<input type="checkbox"/> Land use \$587

CRITICAL AREAS
<input type="checkbox"/> Determination \$1,761
<input type="checkbox"/> Reasonable Use Exception \$3,523

DESIGN REVIEW
<input type="checkbox"/> Review of sign & colors \$117
<input type="checkbox"/> \$0-5,000 \$294
\$5,001-25,000 \$1,174
<input type="checkbox"/> \$25,001-50,000 \$1,761
<input type="checkbox"/> Over \$50,000 \$2,701

DEVIATIONS
<input type="checkbox"/> Changes/antenna \$1,174
<input type="checkbox"/> Change to Open Space \$1,174
<input type="checkbox"/> Fence Height \$587 | DEVIATIONS (CONTINUED)
<input type="checkbox"/> Setback Critical Areas \$1,761
<input type="checkbox"/> Impervious Surface \$1,761
<input type="checkbox"/> Shoreline \$2,348
<input type="checkbox"/> Wet Season Construction Moratorium \$719

ENVIRONMENTAL REVIEW (SEPA CHECKLIST)
<input checked="" type="checkbox"/> Residential \$352
<input type="checkbox"/> Non-residential \$1,174
Environmental Impact St. \$1,761

SHORELINE MANAGEMENT
<input checked="" type="checkbox"/> Exemption \$117
<input type="checkbox"/> Permit Revision \$470
<input type="checkbox"/> Recreation-modify \$470
<input type="checkbox"/> Recreation-new \$1,174
<input type="checkbox"/> Substantial Dev. Permit \$1,174 | SUBDIVISION LONG PLAT
<input type="checkbox"/> 2-3 Lots \$5,871
<input type="checkbox"/> 4-5 Lots \$8,220
<input type="checkbox"/> 6 or greater \$10,568
<input type="checkbox"/> Long Plat Amendment \$2,936
<input type="checkbox"/> Alteration to Existing \$2,936
<input type="checkbox"/> Final Plat Subdivision Review \$2,348

SUBDIVISION SHORT PLAT
<input type="checkbox"/> Two Lots \$2,936
<input type="checkbox"/> Three Lots \$3,523
<input type="checkbox"/> Four Lots \$4,110
<input type="checkbox"/> Variance / Acreage Limitation \$587
<input type="checkbox"/> Short Plat Amendment \$1,468
<input type="checkbox"/> Alteration to Existing \$1,468 | VARIANCES
<input type="checkbox"/> Other Variance \$2,936
<input type="checkbox"/> Parking Lots \$1,174
<input type="checkbox"/> Setbacks or Height \$2,348
<input type="checkbox"/> Shoreline \$2,348
<input type="checkbox"/> Wireless Communications \$2,348

OTHER LAND USE
<input type="checkbox"/> Accessory Dwelling Unit (ADU) \$117
<input type="checkbox"/> Comp Plan Amendment (CPA) \$2,701
<input type="checkbox"/> Conditional Use Permit (CUP) \$4,697
<input type="checkbox"/> Lot Line Rev.-Minor \$1,761
<input type="checkbox"/> Lot Line Rev.-Major \$2,936
<input type="checkbox"/> Lot Line Consolidation \$587
<input type="checkbox"/> Lot Line Amendment \$881
<input type="checkbox"/> Rezoning Action \$2,936
<input type="checkbox"/> Zoning Code Text Amendment \$2,701 |
|---|--|--|--|

SEPA CATEGORICALLY EXEMPT: YES / NO	SEPA CHECKLIST SUBMITTED ON:
SEPA CHECKLIST REQUIRED: YES / NO	SEPA PERMIT NUMBER :
	DECISION ISSUED ON:

Ted Burns

From: Jeff Thomas [Jeff.Thomas@mercergov.org]
Sent: Friday, October 20, 2006 10:22 AM
To: tedeburns@yahoo.com
Subject: RE: Shoreline Exemption permit

RECEIVED

OCT 23 2006

CITY OF MERCER ISLAND
DEVELOPMENT SERVICES

Ted -

All in-water work does require SEPA review.

Based on our telephone conversation earlier this week, this particular project qualifies for a Shoreline Exemption Approval as the pier project does not exceed \$10,000 in cost or fair market value.

- Jeff Thomas

Jeffrey B. Thomas

Principal Planner
Tel 206/236-5311
Cell 206/786-6437
Fax 206/236-3599
Email jeff.thomas@mercergov.org



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OCT 23 2006

CITY OF MERCER ISLAND
DEVELOPMENT SERVICES

From: Ted Burns [mailto:tedeburns@yahoo.com]
Sent: Monday, October 16, 2006 3:58 PM
To: Jeff Thomas
Cc: dave@prempac.com
Subject: Shoreline Exemption permit

Hi Jeff,

On Friday I wanted to apply for a Shoreline Exemption permit without SEPA to re-deck an existing residential dock and replace (3) existing wood mooring piles with (3) steel mooring piles in the same location. The gentleman in your office that I talked with thought I would need a Shoreline Development permit; however he suggested I talk with you.

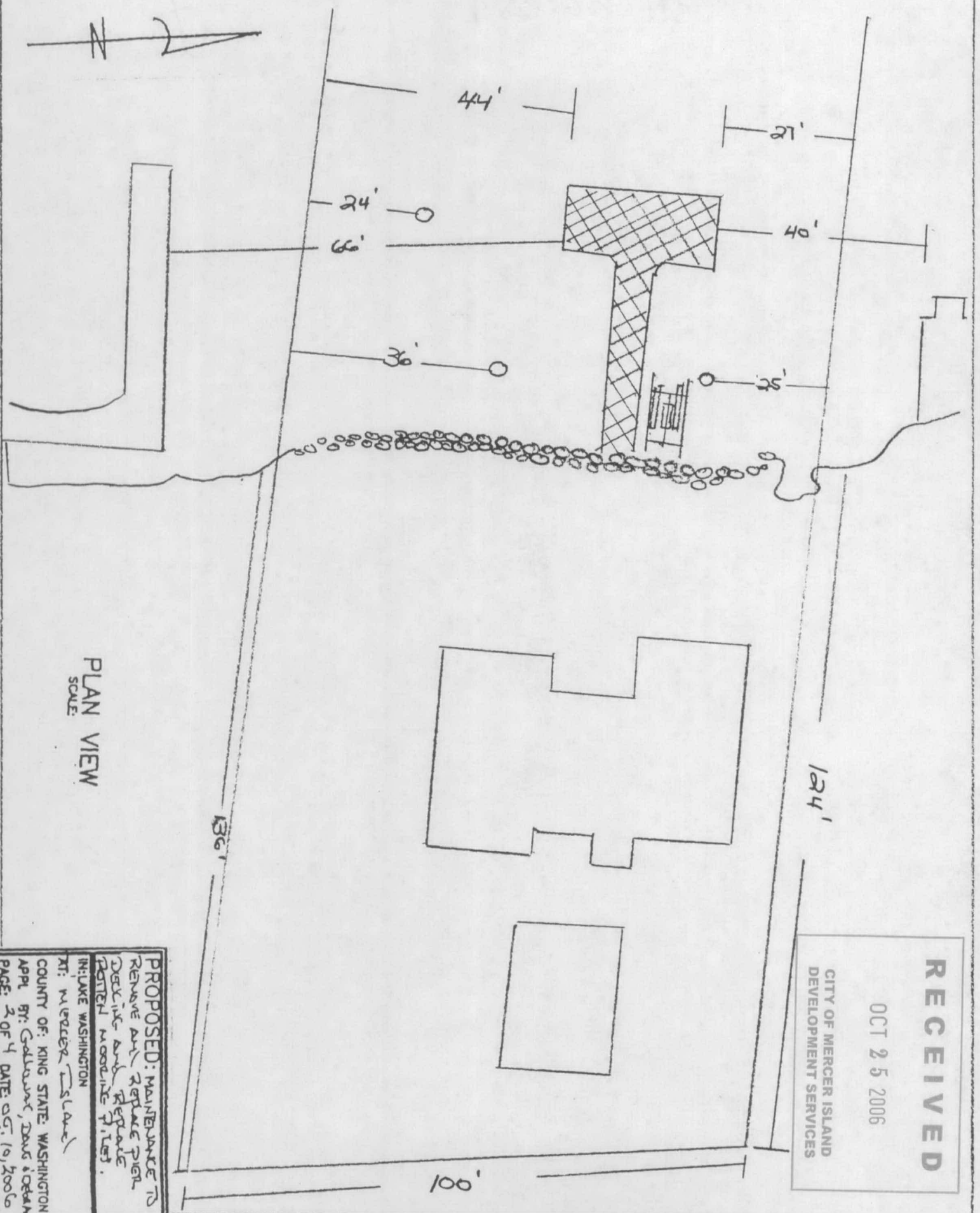
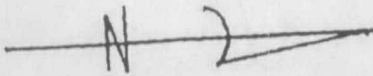
Please confirm that I only need a Shoreline Exemption permit as this is standard repair and maintenance of an existing residential dock and mooring piles.

Thanks,

A handwritten signature in black ink, appearing to be "Ted Burns".

Ted Burns
Seaborn Pile Driving Company

10/20/2006



PLAN VIEW
SCALE

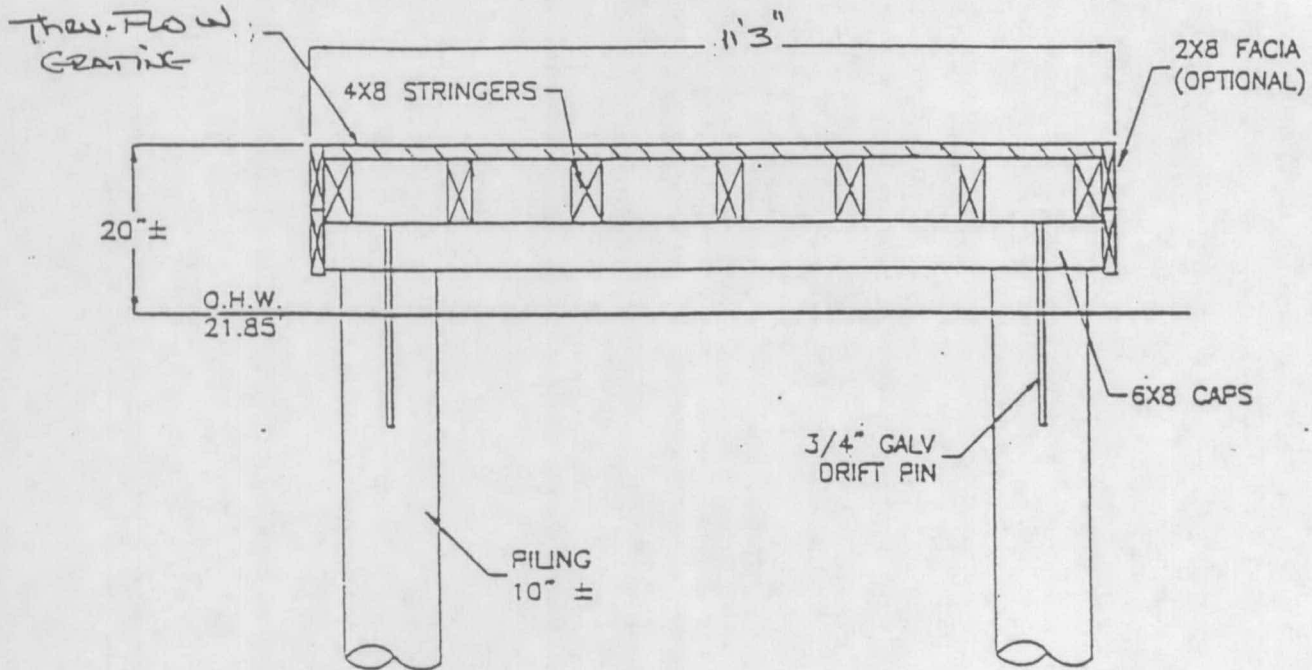
RECEIVED
OCT 25 2006
CITY OF MERCER ISLAND
DEVELOPMENT SERVICES

PROPOSED: MAINTENANCE TO
Remove and Replace pier
Decking and Repair
POTENTIAL MOBILE PILES.
IN: LUKE WASHINGTON
XT: MERCER ISLAND
COUNTY OF: KING STATE WASHINGTON
APPL BY: Gallaway, David & Beth
PAGE 2 OF 4 DATE: 05/10/2006

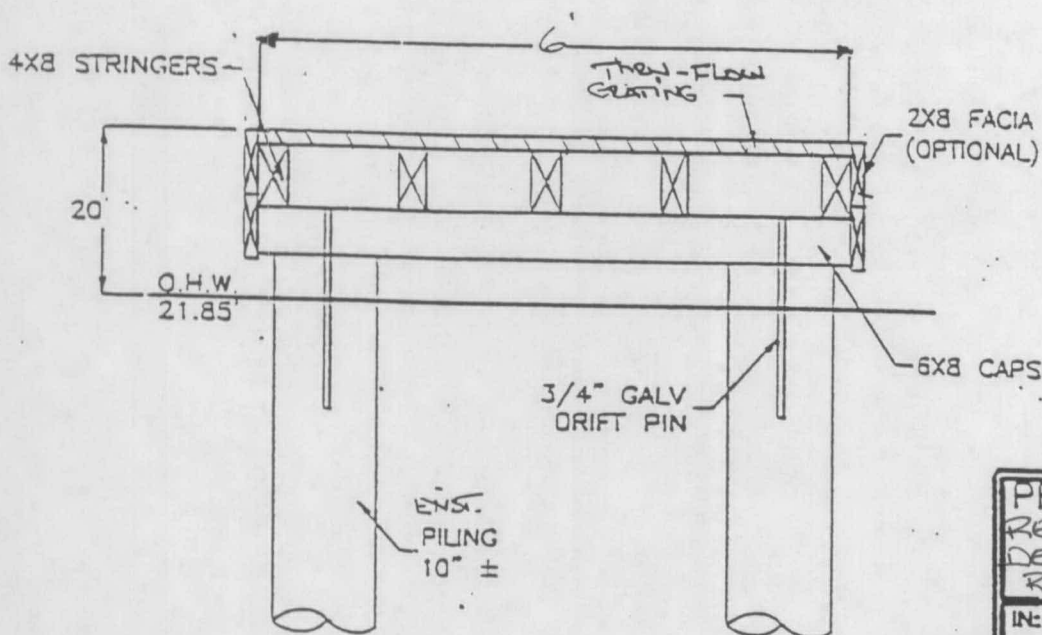
Materials

All materials used in the construction of the dock will be for use on the water and of the highest quality available on the market. All materials will conform to the International Building Code.

- Lumber – All lumber will be graded and marked in conformance with WCLIB standard grading rules and will be wood pressure treated with ACZA.
- Fasteners – All fasteners, bolts, nuts and nails will be hot-dip galvanized.
- Decking – All decking will be Fiberglass Thru-Flo style fastened with stainless steel ~~SCREWS~~.



SCALE: 1"=2'.75'



SCALE: 1"=2'

PROPOSED: MAINTENANCE TO REMOVE AND REPLACE PIER DECKING AND REPLACE ROTTEN MOORING PILE.

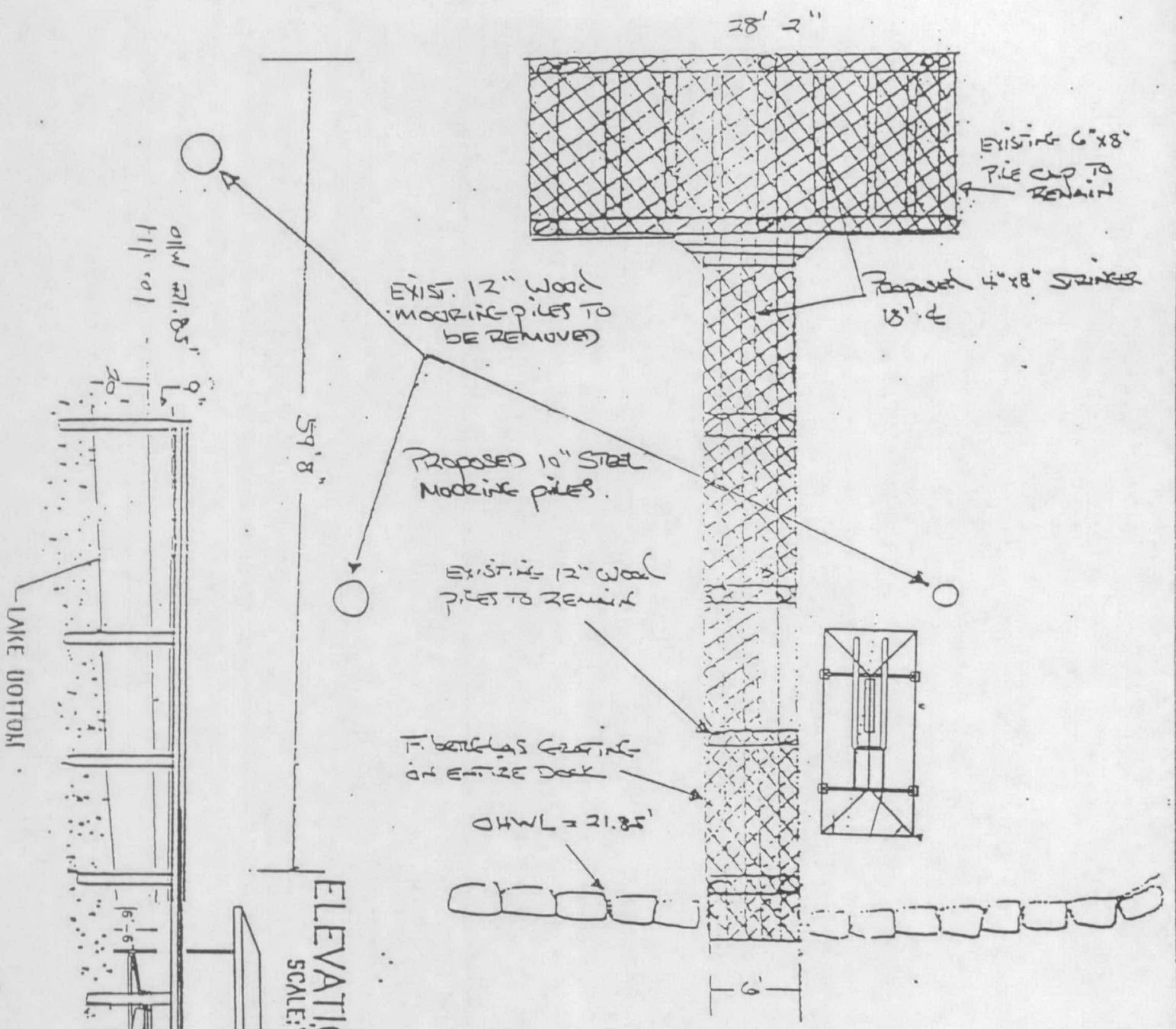
IN: LAKE WASHINGTON

AT: MERCER ISLAND

COUNTY OF: KING STATE: WASHINGTON

APPL BY: GALLOWAY, JAMES Debra

PAGE: 4 OF 4 DATE: OCT. 10, 2006

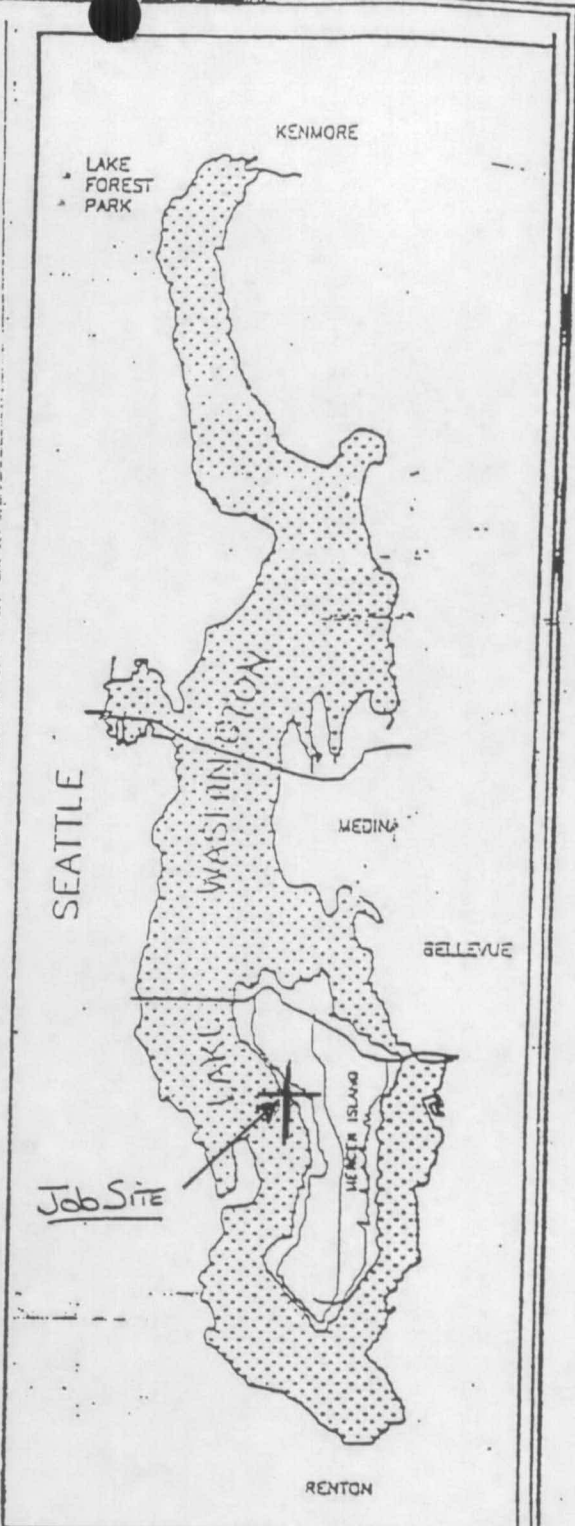
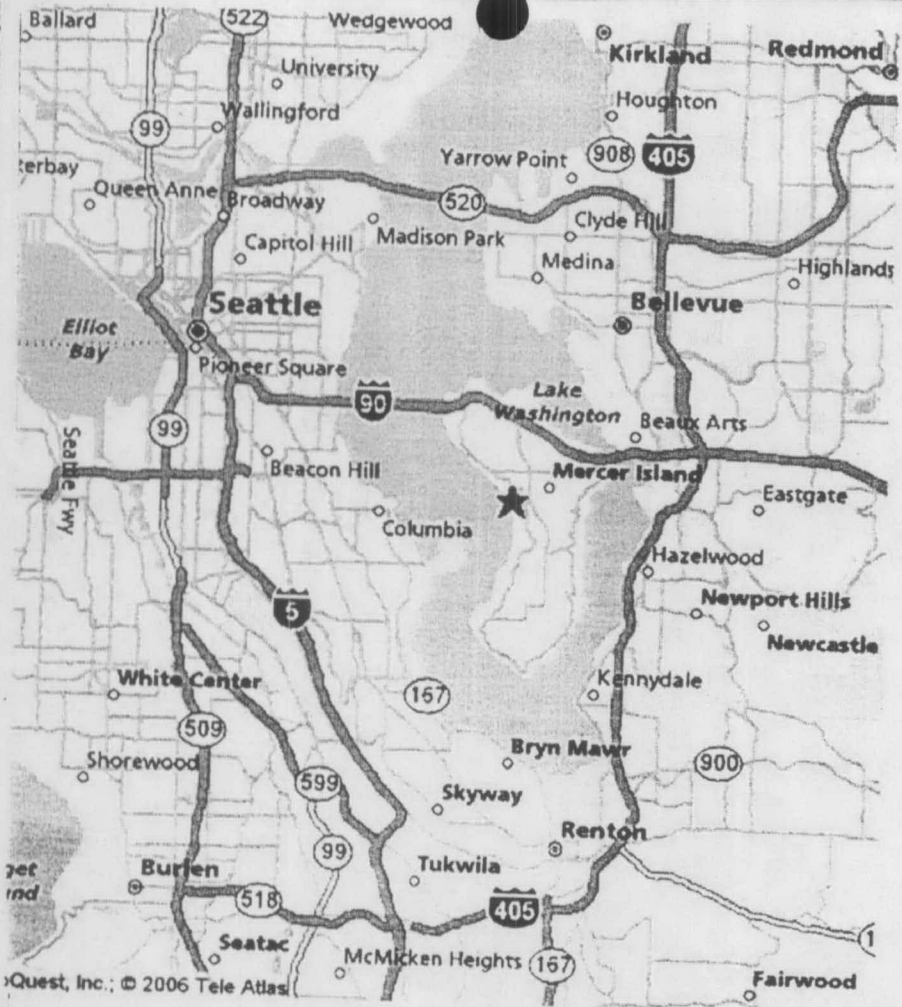


DETAIL VIEW
SCALE: 1" = 10'

PROPOSED: MAINTENANCE TO REMOVE AND REPLACE PIER DECKING AND REPLACE ROTTEN MOORING PILES.

INCLUDE WASHINGTON
XT.: MORZER Island

COUNTY OF: KING STATE: WASHINGTON
APPL. BY: GALLOWAY, DAVE & DEBRA
PAGE: 3 OF 4 DATE: OCT. 10 2006



VICINITY MAP/NO SCALE

Parcel Number	5482700185
Address	4421 FOREST AVE SE
Zipcode	98040
Taxpayer	GALLOWAY DAVID W & DEBRA A

Account Number	548270018508	Record Number	01-02
Legal Description	38-39 MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ		
Plat Lot	38-39		
Lot Area	16,500 SqFt (0.38 acres)		
Section/Township/Range	SE 13 24 4		

PURPOSE:	Seaborn Pile Driving Company® 9311 SE 36 TH ST. #204 MERCER ISLAND, WA 98040 (208) 226-1700 (208) 236-2700(Fax)	PROPOSED: MAINTENANCE TO REMOVE AND REPLACE PIER DECKING AND REPLACE ROTTEN MOORING PILES.
DATUM: C.O.C. O.O. EST. 1919	JOB NAME: GALLOWAY (PIER REPAIR)	IN: LAKE WASHINGTON
ADJACENT PROPERTY OWNERS: JERRI (BRIEN SHAW) 4425 FOREST AVE. SE GREG & JERI LYNN ZICE 4417 FOREST AVE. SE	MAIL ADD: SIT ADD: 4421 FOREST AVE S.E. MERCER ISLAND, WA.	AT: MERCER ISLAND COUNTY OF KING STATE: WASHINGTON
		PAGE: 1 OF 4 DATE: OCT. 10, 2000



CITY OF MERCER ISLAND, DEVELOPMENT SERVICES GROUP
9611 S.E. 36 St., MERCER ISLAND, WA 98040 (206) 236-5300 FAX: (206) 236-3599
WWW.MERCERGOV.ORG

ENVIRONMENTAL CHECKLIST

(WAC 197-11-960)

Date Received _____

File No. _____

Fee _____

See attached Development Application

Purpose of Checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for Applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Use of checklist for nonproject proposals:

Complete this checklist for nonproject proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D).

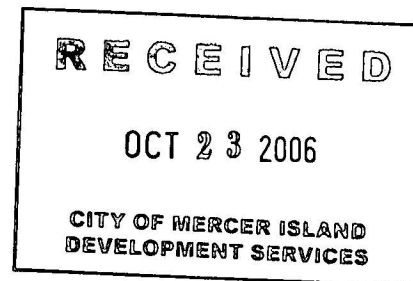
For nonproject actions, the references in the checklist to the words "project", "applicant," and "property or site" should be read as "proposal," proposer", and "affected geographic area," respectively.

A. BACKGROUND

1. Name of proposed project, if applicable:

2. Name of applicant:
3. Address and phone number of applicant and contact person:

4. Date checklist prepared:



WAC 197-11-960 Environmental checklist.

ENVIRONMENTAL CHECKLIST

Purpose of checklist:

The State Environmental Policy Act (SEPA), chapter 43.21C RCW, requires all governmental agencies to consider the environmental impacts of a proposal before making decisions. An environmental impact statement (EIS) must be prepared for all proposals with probable significant adverse impacts on the quality of the environment. The purpose of this checklist is to provide information to help you and the agency identify impacts from your proposal (and to reduce or avoid impacts from the proposal, if it can be done) and to help the agency decide whether an EIS is required.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Governmental agencies use this checklist to determine whether the environmental impacts of your proposal are significant, requiring preparation of an EIS. Answer the questions briefly, with the most precise information known, or give the best description you can.

You must answer each question accurately and carefully, to the best of your knowledge. In most cases, you should be able to answer the questions from your own observations or project plans without the need to hire experts. If you really do not know the answer, or if a question does not apply to your proposal, write "do not know" or "does not apply." Complete answers to the questions now may avoid unnecessary delays later.

Some questions ask about governmental regulations, such as zoning, shoreline, and landmark designations. Answer these questions if you can. If you have problems, the governmental agencies can assist you.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Use of checklist for nonproject proposals:

Complete this checklist for nonproject proposals, even though questions may be answered "does not apply." IN ADDITION, complete the SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS (part D).

For nonproject actions, the references in the checklist to the words "project," "applicant," and "property or site" should be read as "proposal," "proposer," and "affected geographic area," respectively.

A. BACKGROUND

1. Name of proposed project, if applicable:

Galloway Pier repair.

2. Name of applicant: **David W. & Debra A. Galloway**

3. Address and phone number of applicant and contact person:

4421 Forest Ave. SE Mercer Island, WA. 98040

Contact: Seaborn Pile Driving Company – Attn: Ted Burns

9311 SE 36th Street Suite 204 Mercer Island, WA. 98040

206-236-1700

4. Date checklist prepared: **October 16, 2006**

5. Agency requesting checklist: **City of Mercer Island**

6. Proposed timing or schedule (including phasing, if applicable):

July 2007

7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? If yes, explain. **NO.**

8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. **N/A**

9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? If yes, explain. **None.**

10. List any government approvals or permits that will be needed for your proposal, if known.

City of Mercer Island Shoreline Exemption permit.

City of Mercer Island Building permit

US Army Corps of Engineers federal permit.

Wash State Dept of Fish & Wildlife Hydraulic Project Approval

11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. There are several questions later in this checklist that ask you to describe certain aspects of your proposal. You do not need to repeat those answers on this page. (Lead agencies may modify this form to include additional specific information on project description.)

Replace the deck of an existing conforming residential pier and replace (3) non-conforming mooring piles with (3) conforming mooring piles in the same location.

12. Location of the proposal. Give sufficient information for a person to understand the precise location of your proposed project, including a street address, if any, and section, township, and range, if known. If a proposal would occur over a range of area, provide the range or boundaries of the site(s). Provide a legal description, site plan, vicinity map, and topographic map, if reasonably available. While you should submit any plans required by the agency, you are not required to duplicate maps or detailed plans submitted with any permit applications related to this checklist.

4421 Forest Ave. SE Mercer Island, WA. 98040

Section: 13 Township: 24 Range: 4 Legal description: **38-39 MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ**

B. ENVIRONMENTAL ELEMENTS

1. Earth

a. General description of the site (circle one): Flat, rolling, hilly, steep slopes, mountainous, other

b. What is the steepest slope on the site (approximate percent slope)? **Greater than 10%.**

c. What general types of soils are found on the site (for example, clay, sand, gravel, peat, muck)? If you know the classification of agricultural soils, specify them and note any prime farmland. **Peat and sand associated with a residential waterfront lot.**

d. Are there surface indications or history of unstable soils in the immediate vicinity? If so, describe. **Unknown.**

e. Describe the purpose, type, and approximate quantities of any filling or grading proposed. Indicate source of fill. **None.**

f. Could erosion occur as a result of clearing, construction, or use? If so, generally describe. **No.**

g. About what percent of the site will be covered with impervious surfaces after project construction (for example, asphalt or buildings)? **None.**

h. Proposed measures to reduce or control erosion, or other impacts to the earth, if any: **N/A**

a. **Air**

- a. What types of emissions to the air would result from the proposal (i.e., dust, automobile, odors, industrial wood smoke) during construction and when the project is completed? If any, generally describe and give approximate quantities if known. **Minor engine exhaust from the crane only for a short time during construction.**
- b. Are there any off-site sources of emissions or odor that may affect your proposal? If so, generally describe. **Unknown**
- c. Proposed measures to reduce or control emissions or other impacts to air, if any: **Operate the crane only as required**

3. **Water**

a. Surface:

- 1) Is there any surface water body on or in the immediate vicinity of the site (including year-round and seasonal streams, saltwater, lakes, ponds, wetlands)? If yes, describe type and provide names. If appropriate, state what stream or river it flows into. **The job site is on Lake Washington.**
- 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? If yes, please describe and attach available plans. **Yes. The work will be on a barge over Lake Washington. Please see attached project description.**
- 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. Indicate the source of fill material. **N/A**
- 4) Will the proposal require surface water withdrawals or diversions? Give general description, purpose, and approximate quantities if known. **No.**
- 5) Does the proposal lie within a 100-year floodplain? If so, note location on the site plan. **Unknown.**
- 6) Does the proposal involve any discharges of waste materials to surface waters? If so, describe the type of waste and anticipated volume of discharge. **No.**

b. Ground:

- 1) Will ground water be withdrawn, or will water be discharged to ground water? Give general description, purpose, and approximate quantities if known. **No.**
- 2) Describe waste material that will be discharged into the ground from septic tanks or other sources, if any (for example: Domestic sewage; industrial, containing the following chemicals. . . ; agricultural; etc.). Describe the general size of the system, the number of such systems, the number of houses to be served (if applicable), or the number of animals or humans the system(s) are expected to serve. **N/A**

c. Water runoff (including stormwater):

1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? If so, describe. N/A

2) Could waste materials enter ground or surface waters? If so, generally describe. N/A

d. Proposed measures to reduce or control surface, ground, and runoff water impacts, if any: N/A

4. Plants

a. Check or circle types of vegetation found on the site:

X deciduous tree: alder, maple, aspen, other

X evergreen tree: fir, cedar, pine, other

X shrubs

X grass

_____ pasture

_____ crop or grain

_____ wet soil plants: cattail, buttercup, bullrush, skunk cabbage, other

_____ water plants: water lily, eelgrass, milfoil, other

_____ other types of vegetation

b. What kind and amount of vegetation will be removed or altered? None

c. List threatened or endangered species known to be on or near the site. Unknown

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: Maintain existing landscape.

5. Animals

a. Circle any birds and animals which have been observed on or near the site or are known to be on or near the site:

birds: hawk, heron, eagle, songbirds, other:

mammals: deer, bear, elk, beaver, other:

fish: bass, salmon, trout, herring, shellfish, other:

b. List any threatened or endangered species known to be on or near the site. Unknown

c. Is the site part of a migration route? If so, explain. Unknown

d. Proposed measures to preserve or enhance wildlife, if any: N/A

6. Energy and natural resources

a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. N/A

b. Would your project affect the potential use of solar energy by adjacent properties?
If so, generally describe. **N/A**

c. What kinds of energy conservation features are included in the plans of this proposal?
List other proposed measures to reduce or control energy impacts, if any: **N/A**

7. Environmental health

a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal?
If so, describe. **Unknown**

1) Describe special emergency services that might be required. **Unknown**

2) Proposed measures to reduce or control environmental health hazards, if any: **N/A**

b. Noise

1) What types of noise exist in the area which may affect your project (for example: traffic, equipment, operation, other)? **None**

2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis (for example: traffic, construction, operation, other)? Indicate what hours noise would come from the site. **Crane engine noise for short periods during construction from 7:00 am – 3:30 pm.**

3) Proposed measures to reduce or control noise impacts, if any: **Operate the crane only as required.**

8. Land and shoreline use

a. What is the current use of the site and adjacent properties? **Residential and residential recreation.**

b. Has the site been used for agriculture? If so, describe. **No**

c. Describe any structures on the site. **Private residence.**

d. Will any structures be demolished? If so, what? **No**

e. What is the current zoning classification of the site? **R-15**

f. What is the current comprehensive plan designation of the site? **Residential**

g. If applicable, what is the current shoreline master program designation of the site? **Unknown**

h. Has any part of the site been classified as an "environmentally sensitive" area? If so, specify. **Unknown**

i. Approximately how many people would reside or work in the completed project? **Two people will live at the residence.**

j. Approximately how many people would the completed project displace? **None.**

k. Proposed measures to avoid or reduce displacement impacts, if any: **N/A**

l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans, if any: **N/A**

9. Housing

a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. **N/A**

b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. **N/A**

c. Proposed measures to reduce or control housing impacts, if any: **N/A**

10. Aesthetics

a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? **N/A**

b. What views in the immediate vicinity would be altered or obstructed? **None**

c. Proposed measures to reduce or control aesthetic impacts, if any: **N/A**

11. Light and glare

a. What type of light or glare will the proposal produce? What time of day would it mainly occur? **N/A**

b. Could light or glare from the finished project be a safety hazard or interfere with views? **N/A**

c. What existing off-site sources of light or glare may affect your proposal? **N/A**

d. Proposed measures to reduce or control light and glare impacts, if any: **N/A**

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? **Unknown**
- b. Would the proposed project displace any existing recreational uses? If so, describe. **N/A**
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant, if any: **N/A**

13. Historic and cultural preservation

- a. Are there any places or objects listed on, or proposed for, national, state, or local preservation registers known to be on or next to the site? If so, generally describe. **Unknown**
- b. Generally describe any landmarks or evidence of historic, archaeological, scientific, or cultural importance known to be on or next to the site. **Unknown**
- c. Proposed measures to reduce or control impacts, if any: **N/A**

14. Transportation

- a. Identify public streets and highways serving the site, and describe proposed access to the existing street system. Show on site plans, if any. **The proposed site is connected to Forest Ave. SE.**
- b. Is site currently served by public transit? If not, what is the approximate distance to the nearest transit stop? **No. Unknown**
- c. How many parking spaces would the completed project have? How many would the project eliminate? **N/A**
- d. Will the proposal require any new roads or streets, or improvements to existing roads or streets, not including driveways? If so, generally describe (indicate whether public or private). **No.**
- e. Will the project use (or occur in the immediate vicinity of) water, rail, or air transportation? If so, generally describe. **No**
- f. How many vehicular trips per day would be generated by the completed project? If known, indicate when peak volumes would occur. **N/A**
- g. Proposed measures to reduce or control transportation impacts, if any: **N/A**

15. Public services


- a. Would the project result in an increased need for public services (for example: fire protection, police protection, health care, schools, other)? If so, generally describe. **No**
- b. Proposed measures to reduce or control direct impacts on public services, if any. **N/A**

16. Utilities

- a. Circle utilities currently available at the site: electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system, other.

C. SIGNATURE

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: 

Date Submitted: Oct. 20, 2006

SEPA RULES

D. SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS

(do not use this sheet for project actions)

Because these questions are very general, it may be helpful to read them in conjunction with the list of the elements of the environment.

When answering these questions, be aware of the extent the proposal, or the types of activities likely to result from the proposal, would affect the item at a greater intensity or at a faster rate than if the proposal were not implemented. Respond briefly and in general terms.

- 1. How would the proposal be likely to increase discharge to water; emissions to air; productions, storage, or release of toxic or hazardous substances; or production of noise?

UNKNOWN

Proposed measures to avoid or reduce increases are:

- 2. How would the proposal be likely to affect plants, animals, fish, or marine life?

UNKNOWN

Proposed measures to protect or conserve plants, animals, fish, or marine life are:

- 3. How would the proposal be likely to deplete energy or natural resources?

DOES NOT APPLY

Proposed measures to protect or conserve energy and natural resources are:

- 4. How would the proposal be likely to use or affect environmentally sensitive areas or areas designated (or eligible or under study) for governmental protection; such as parks, wilderness, wild and scenic rivers, threatened or endangered species habitat, historic or cultural sites, wetlands, floodplains, or prime farmlands?

UNKNOWN

Proposed measures to protect such resources or to avoid or reduce impacts are:

- 5. How would the proposal be likely to affect land and shoreline use, including whether it would allow or encourage land or shoreline uses incompatible with existing plans?

THIS MAINTENANCE PROJECT WON'T AFFECT THE SHORELINE USE.

Proposed measures to avoid or reduce shoreline and land use impacts are:

LIMIT PROJECT TO MAINTENANCE OF EXISTING SHORELINE USE.

- 6. How would the proposal be likely to increase demands on transportation or public services and utilities?

DOES NOT APPLY

Proposed measures to reduce or respond to such demand(s) are:

- 7. Identify, if possible, whether the proposal may conflict with local, state, or federal laws or requirements for the protection of the environment.

UNKNOWN

RECEIVED

OCT 23 2006

CITY OF MERCER ISLAND
DEVELOPMENT SERVICES

Applicant Information

Project Address: 4421 Forest Ave. SE, Mercer Island, Wa. 98040

Parcel Number: 5482700185

Applicant: Ted Burns, Seaborn Pile Driving Company, 9311 SE 36th Street, Mercer Island, Wa. 98040 206.236.1700

Property Owner: David W. & Debra A. Galloway 4421 Forest Ave. SE, Mercer Island, Wa. 98040

Legal Description:

38-39 MERRIMOUNT ADD POR W OF LN OF 38 DIST 171.81 FT W FR NE COR SD 38 & BRG S 08-14 E TO S LN OF 39 & SH LDS ADJ

Description of Work: Maintenance and repair of the existing residential dock consisting of removing and replacing the decking and remove three existing 12" treated wood mooring pilings and replace with three 10" galvanized steel pilings (note: the most waterward piling is currently damaged and broken below the ordinary high water level).

The new decking will contain 100% Thru-Flo grating. There will be no change in the current pier configuration.

Contractor: Seaborn Pile Driving Company License #: SEABOPD942CG

Address: 9311 SE 36th Street Mercer Island, Wa. 98040

Phone: 206.236.2700

Fax: 206.236.2700

Contact: Ted Burns

Mobile: 206.947.4010

Email: tedeburns@yahoo.com

Construction Narrative

1. Mobilize the construction barge, debris barge and supply barge on-site. Moor to ensure that the barge will not make contact with the lake bottom during construction.
2. Using the crane on the construction barge, remove the existing decking and secure the old dock on the debris barge for towing to the yard in Renton and disposal in an approved upland disposal site.
3. Add required stringers for installation of the Thru-Flow grating on 18" centers.
4. Screw the grating to the stringers with stainless steel screws.
5. Remove the two existing 12" wood mooring pilings and load onto the debris barge for towing to the yard in Renton and disposal in an approved upland disposal site.
6. Drive the two new 10" galvanized steel mooring pilings to firm bearing or refusal using a drop hammer.

7. Remove the equipment from the job site taking all debris from the area for disposal in an approved upland disposal site.

Structural Notes

General

- All materials, workmanship, design and construction shall conform to the submitted drawings and the International Building Code.
- The contractor will be responsible for all safety precautions and methods and processes to perform the designated work.

Design Criteria

- The existing and repaired design and construction meets the live load specification of a minimum of 40 PSF.

Preservatives

- All wood preservatives to be state approved and will be applied and fully cured prior to installation over the water.
- All hardware and fasteners to be hot dipped galvanized.

Best Management Practices

1. Above the Water Line Work

1. SEABORN PILE DRIVING COMPANY will employ one each crane barge and one each supply for above water work. A tug will tow the barges on and off the job site.
2. All SEABORN PILE DRIVING COMPANY personnel working in, near or over the water will at all time wear either USCG approved life vests or work vest as well as hard hats and safety glasses.

2. Material Handling

1. During removal of the existing dock pile caps, stringers and decking a floating containment boom will completely surround the work area.
2. During removal of the existing skirting of the North building a floating containment boom will completely surround the work area.
3. During construction of the existing dock pile caps, stringers and decking a floating containment boom will completely surround the work area.

3. Hazardous Materials

- No hazardous materials will be mixed or stored in or near the water. No cleaning of materials will be performed in or near the water.

4. Polluting Materials in Water

- SEABORN PILE DRIVING COMPANY will not be working with any materials that can fall into or pollute the water.

5. Materials Disposal

- SEABORN PILE DRIVING COMPANY will dispose of all wood debris in an approved legal disposal site in accordance with all applicable laws and permit requirements.

6. Treated Wood

- Any treated wood installed by SEABORN PILE DRIVING COMPANY will meet the Best Management Practices for Treated Wood in Western Aquatic Environments.



DEPARTMENT OF THE ARMY
CORPS OF ENGINEERS, SEATTLE DISTRICT
4735 EAST MARGINAL WAY SOUTH, BLDG 1202
SEATTLE, WA 98134-2388

Regulatory Branch

April 29, 2022

Ori Amiga
4421 Forest Avenue Southeast
Mercer Island, Washington 98040

Reference: NWS-2021-943
Amiga, Ori
(Boat Lift Replacement,
Piling Repair)

Greetings:

We have reviewed your application to install a 142-square foot boat lift and 92-square foot dual jet ski lift and to perform maintenance to a residential pier in Lake Washington at Mercer Island, Washington. Based on the information you provided to us, this "Letter of Permission" (LOP) permit authorizes your proposal as depicted on the enclosed drawings dated November 8, 2021, which are made part of this permit. In order for this LOP authorization to be valid, you must ensure that the work is performed in accordance with the enclosed *Letter of Permission General Conditions* and the following special conditions:

a. In order to meet the requirements of the Endangered Species Act (ESA) and Magnuson-Stevens Fishery Conservation and Management Act (MSA) *Restoration and Permitting* (RAP) programmatic consultation (National Marine Fisheries Service (NMFS) Reference Number WCRO-2016-00008), you must implement and abide by the ESA requirements and/or agreements set forth in the Biological Opinion (BO) dated February 17, 2017, the NMFS' *RAP Implementation Guide* dated July 25, 2019, and the RAP form for your individual project (NMFS Reference Number WCRO-2016-00008-3894). The BO is available on the U.S. Army Corps of Engineers (Corps) website (Permit Guidebook, Endangered Species, Programmatic Consultations, Activities on Lakes Washington and Sammamish). Upon completion of the permitted work, you must submit an As-Built Report (see RAP Implementation Guide, Appendix E) to the Corps and the NMFS (rap-reports.wcr@noaa.gov). You must visually monitor the work area during construction when the substrate is disturbed and ensure that observable turbidity increases do not extend beyond a 150-foot radius around the work area. If turbidity increases occur beyond this area, you must include it in your As-Built Report. You must comply with any required RAP planting plan (see RAP Implementation Guide,

Appendices C and D) requirements and submit annual monitoring reports for five years to the Corps and the NMFS (rap-reports.wcr@noaa.gov). All reports must prominently display the reference number NWS-2021-943. Failure to comply with these requirements constitutes non-compliance with the ESA and your Corps permit. The NMFS is the appropriate authority to determine compliance with the terms and conditions of its BO and with the ESA. If you cannot comply with the terms and conditions of this programmatic consultation, you must, prior to commencing construction, contact the Corps, Seattle District, Regulatory Branch for an individual consultation in accordance with the requirements of the ESA and/or the MSA.

b. To be in compliance with Special Condition "a", you must request an invoice from the King County Mitigation Reserves Program (ATTN: Ms. Megan Webb, megan.webb@kingcounty.gov) and provide the U.S. Army Corps of Engineers a receipt that you have paid the required conservation fees of \$1,000.00 within 60 days from the date of permit authorization. This information must prominently display the reference number NWS-2021-943.

c. In order to meet the requirements of the Endangered Species Act (ESA) programmatic letter of concurrence for selected activities in the Lake Washington/Lake Sammamish Basins (U.S. Fish and Wildlife Service (USFWS) Reference Number 13410-2009-I-0386-R001) you must comply with the relevant conservation measures in the document titled, *Conservation Measures for Activities Covered under the Lake Washington Programmatic Consultation Letter of Concurrence* available on the U.S. Army Corps of Engineers (Corps) website (Permit Guidebook, Endangered Species, Programmatic Consultations, Activities on Lakes Washington and Sammamish). If you cannot comply with these conservation measures, you must, prior to commencing construction, contact the Corps, Seattle District, Regulatory Branch for an individual consultation in accordance with the requirements of the ESA. The USFWS is the appropriate authority to determine compliance with the ESA.

d. In order to meet the requirements of the Endangered Species Act you may conduct the authorized activities from July 16 to December 31 in any year this permit is valid. You shall not conduct work authorized by this permit from January 1 to July 15 in any year this permit is valid.

e. You must implement and abide by the shoreline planting plan on page 7 of 9 of the project drawings dated November 8, 2021. The plants shall be installed before or concurrent with the work authorized by this permit. A report, as-built drawing and photographs demonstrating the trees/plants have been installed or a report on the status of project construction must be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, within 12 months from the date of project construction. You can meet this reporting requirement by completing and submitting the enclosed *Report for Mitigation Work Completion* form.

f. You must maintain and monitor the survival of installed shoreline plantings for five years after the U.S. Army Corps of Engineers accepts the as-built report. Installed plants shall achieve 100% survival during monitoring Years 1 and 2. Installed trees/plants shall achieve at least 80% survival during monitoring Years 3, 4 and 5. Percent survival is based on the total number of plants installed in accordance with the approved shoreline planting plan. Individual plants that die must be replaced with native riparian species in order to meet the survival performance standards.

g. You must submit annual monitoring reports for five years (Monitoring Years 1-5). Each annual monitoring report shall include written and photographic documentation on plant mortality and replanting efforts and must document whether the performance standards are being met. Photos must be taken from established points and used repeatedly for each monitoring year. In addition to photos at designated points, photo documentation must include a panoramic view of the entire planting area. Submitted photos must be formatted on standard 8 ½" x 11" paper, dated with the date the photo was taken, and clearly labeled with the direction from which the photo was taken. The photo location points must be identified on an appropriate drawing. Annual riparian planting monitoring reports must be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch, by November 30 of each monitoring year. You can meet this reporting requirement by completing and submitting the enclosed *Mitigation Planting Monitoring Report* form.

h. To ensure the long-term protection of the mitigation site, you shall record on the mitigation site property deed a copy of this Department of the Army permit and a description of the mitigation area identified in the final mitigation plan. These documents shall be recorded with the Registrar of Deeds or other appropriate official charged with maintaining records on real property. Proof of this recorded documentation must be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch within 60 days prior to project construction. This submittal should be electronically sent to NWS.Compliance@usace.army.mil.

We have reviewed your project pursuant to the requirements of the Endangered Species Act and the Magnuson-Stevens Fishery Conservation and Management Act in regards to Essential Fish Habitat. The U.S. Army Corps of Engineers has determined that this project will comply with the requirements of the above laws provided you comply with special conditions "a" through "d" listed above.

Please be reminded that Special Condition "a" of your permit requires that you implement and abide by the Endangered Species Act (ESA) requirements set forth in the programmatic Biological Opinion (BO) for this project. In particular, note that the BO requires that you: implement a shoreline planting plan, monitor and submit monitoring

reports on the planted area to the Corps and Services annually for a period of five years, record the location and description of the planting area on your deed, and within 60 days you must provide an As-Built Report, a receipt for the conservation fees, and proof of the recorded documentation on your deed. Failure to comply with the commitments made in the BO constitutes non-compliance with the ESA and your Corps permit.

The Washington State Department of Ecology determined your project does not trigger the need for a Water Quality Certification or a Coastal Zone Management consistency determination.

Lake Washington is a water of the U.S. The Section 10 jurisdictional boundaries are shown on the enclosed permit drawings. If you believe these boundaries are inaccurate, you may request a preliminary or approved jurisdictional determination (JD). If one is requested, please be aware that we may require the submittal of additional information to complete the JD and work authorized in this letter may not occur until the JD has been completed.

Any change in the plans for this work will require that you submit revised drawings to this office and receive our written approval of those changes prior to conducting the work. If you object to any terms or conditions of this LOP or the JD, you may request an administrative appeal under our regulations (33 CFR Part 331) as described in the enclosed *Notification of Administrative Appeal Options and Process and Request for Appeal* form.

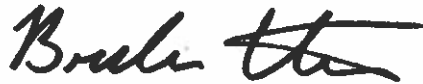
Your authorization to conduct the proposed work under this permit expires 3 years from the date of this letter. Within 30 days of completing the authorized work, you must fill out and return the enclosed *Certificate of Compliance with Department of the Army Permit*. Your signature on this form is our assurance you have conducted the work and any required mitigation in accordance with the terms and conditions of this LOP, including all special conditions. All compliance reports should be submitted to the U.S. Army Corps of Engineers, Seattle District, Regulatory Branch at nws.compliance@usace.army.mil. Please remember that failure to comply with the terms and conditions of this LOP, including any special conditions, will invalidate your authorization and could result in a violation of Federal law.

Thank you for your cooperation during the permitting process. We are interested in your experience with our Regulatory Program and encourage you to complete a customer service survey form. This form and information about our program is available

on our website at: www.nws.usace.army.mil (select "Regulatory Branch, Permit Information").

While this project will not require further authorization from us, please note that it must comply with all local, State, and other Federal requirements that may apply. A copy of this letter and permit drawings will be furnished to Ms. Madison Johnson, of Seaborn Pile Driving Co., at madison@seabornpiledriving.com. If you have any questions about this letter or our regulatory program, please contact Ms. Kelsey Rogers at kelsey.rogers@usace.army.mil or by phone at (206) 316-3165.

BY AUTHORITY OF THE SECRETARY OF THE ARMY:



for Alexander "Xander" L. Bullock
Colonel, Corps of Engineers
District Engineer

Enclosures

cc:
USFWS (wfwoclap@fws.gov)
Ecology (ecyrefedpermits@ecy.wa.gov)
DNR (lalena.amiotte@dnr.wa.gov)
NMFS, RAP (rap-wa.wcr@noaa.gov)
KCMRP (megan.webb@kingcounty.gov)